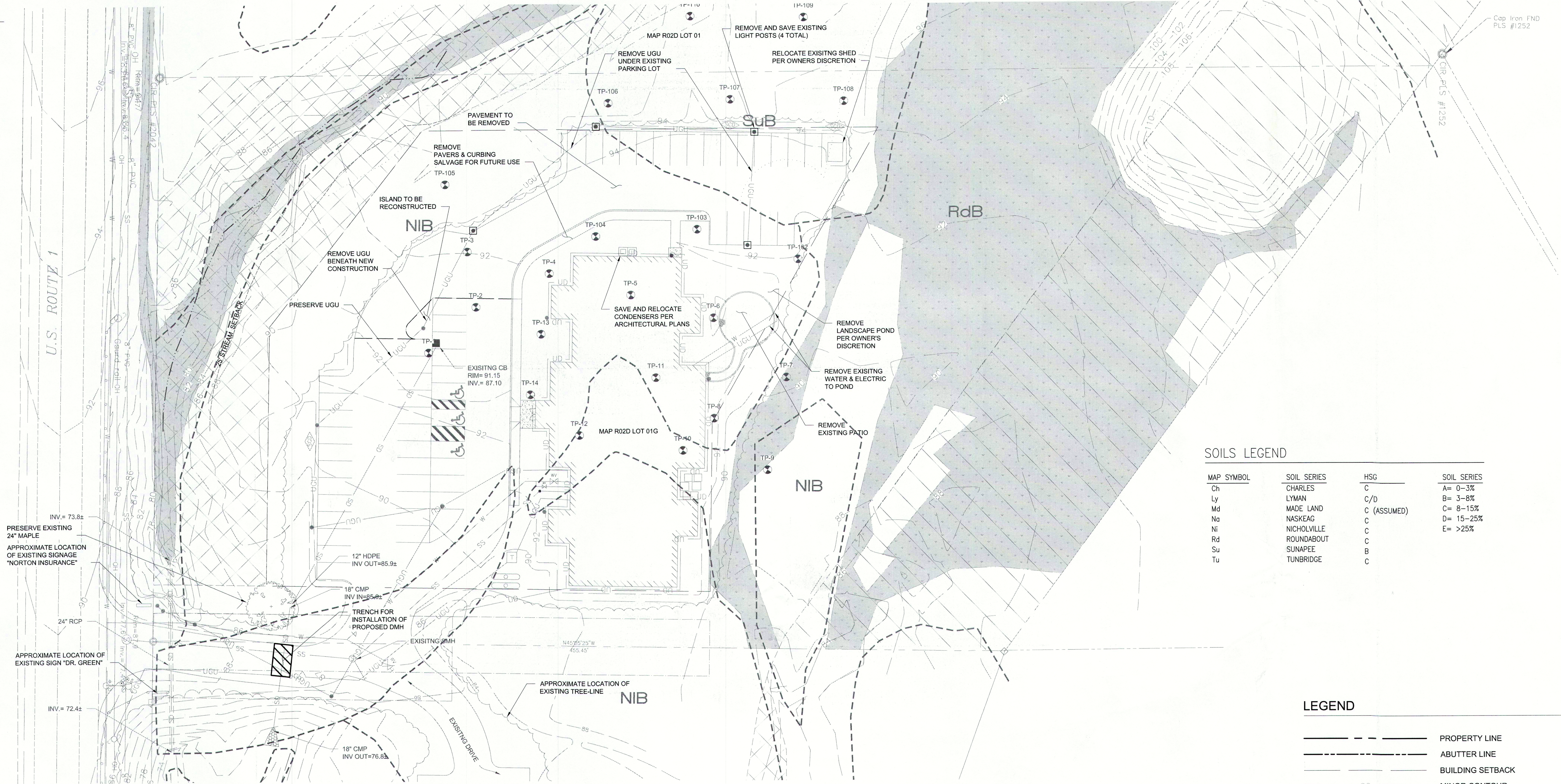
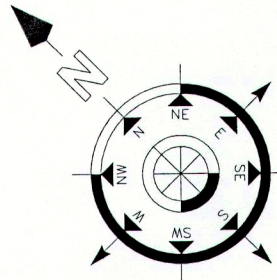


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SOILS LEGEND			
MAP SYMBOL	SOIL SERIES	HSG	SOIL SERIES
Ch	CHARLES	C	A= 0-3%
Ly	LYMAN	C/D	B= 3-6%
Md	MADE LAND	C (ASSUMED)	C= 6-15%
No	NASKOG	C	D= 15-25%
Ni	NICHOLVILLE	C	E= >25%
Rd	ROUNDABOUT	C	
Su	SUNAPEE	B	
Tu	TUNBRIDGE	C	

LEGEND	
	PROPERTY LINE
	ABUTTER LINE
	BUILDING SETBACK
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING ELECTRIC UNDERGROUND
	EDGE OF PAVEMENT/SIDEWALK
	EXISTING GAURDRAIL
	EXISTING STREAM
	SOIL BOUNDARY
	EXISTING TREE-LINE
	PAVEMENT/SIDEWALK TO BE REMOVED
	EXISTING LIGHTPOLE
	LIGHT POST TO BE REMOVED & RELOCATED
	WETLANDS
	NO DISTURB BUFFER PER MDEP SLODA PERMIT 1995

PLAN REFERENCES

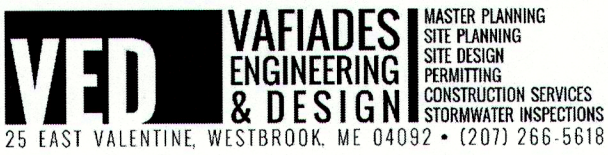
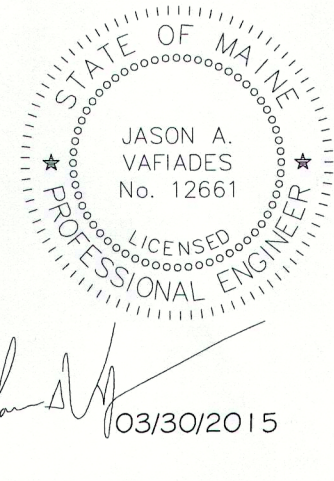
- "STANDARD BOUNDARY SURVEY, CUMBERLAND BUSINESS PARK", PREPARED BY SQUAW BAY CORP, 1995 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 195 PAGE 177.
- "PLAN OF EXISTING CONDITIONS SURVEY", ROUTE 1, CUMBERLAND, MAINE, MADE FOR SYDESIGN CONSULTANTS, PREPARED BY TITCOMB ASSOCIATES, DATED JANUARY 6, 2006.
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- WETLANDS DELINEATION UPDATED BY MARK CENCI (#467) IN DECEMBER, 2014.
- "SOILS PLAN" PREPARED FOR LELAND DAHLGREN BY SQUAW BAY CORP. AND JOSEPH NOEL (#209) DATED 2/6/1995

GENERAL NOTES

- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL THE CONDITIONS OF ALL PERMITS AND APPROVALS AND CONDUCT IN ACCORDANCE WITH ALL CONDITIONS OR APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS RELATED TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, DEMOLITION, BUILDING AND STREET OPENING PERMITS.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.
- WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ADJUSTED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED/DIRECTED BY OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS.

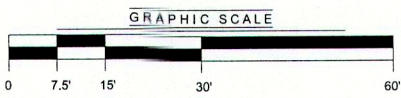
EXISTING CONDITIONS & SITE PREPARATION NOTES

- EXISTING CONDITIONS AND FEATURES AS SHOWN ARE DERIVED FROM PROPOSED DESIGN PLANS AND DO NOT REFLECT AS BUILT, IN FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY DIGSMART PRIOR TO ANY CLEARING AND/OR EXCAVATION ACTIVITIES.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES AND IDENTIFY CONFLICTS, WHICH SHALL BE REPORTED TO THE ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING UTILITIES AS REQUIRED. ANY INTERRUPTION OF UTILITY SERVICES REQUIRES AT LEAST 48 HOUR NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE ALL THE WORK INCLUDED IN THESE PLANS.
- ALL EXISTING PROPERTY DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED TO MATCH ITS ORIGINAL CONDITION AT NO CHARGE TO THE OWNER.
- REFER TO SHEET L100 FOR EXISTING PLANT PROTECTION.



C100 EXISTING CONDITIONS & DEMOLITION PLAN

1" = 30'-0"



REVISIONS		
#	DATE	DESCRIPTION
A	2-19-15	60% DD SET
B	2-24-15	PERMITTING SET
C	3-7-15	MDEP SLODA AMEND
D	3-30-15	PER TOWN COMMENTS

DATE:	02-19-15
PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	1" = 30'-0"

SHEET TITLE
EXISTING CONDITIONS & DEMOLITION PLAN

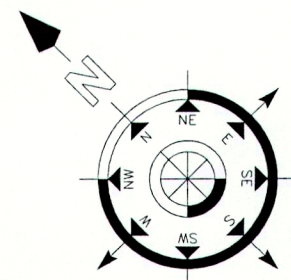
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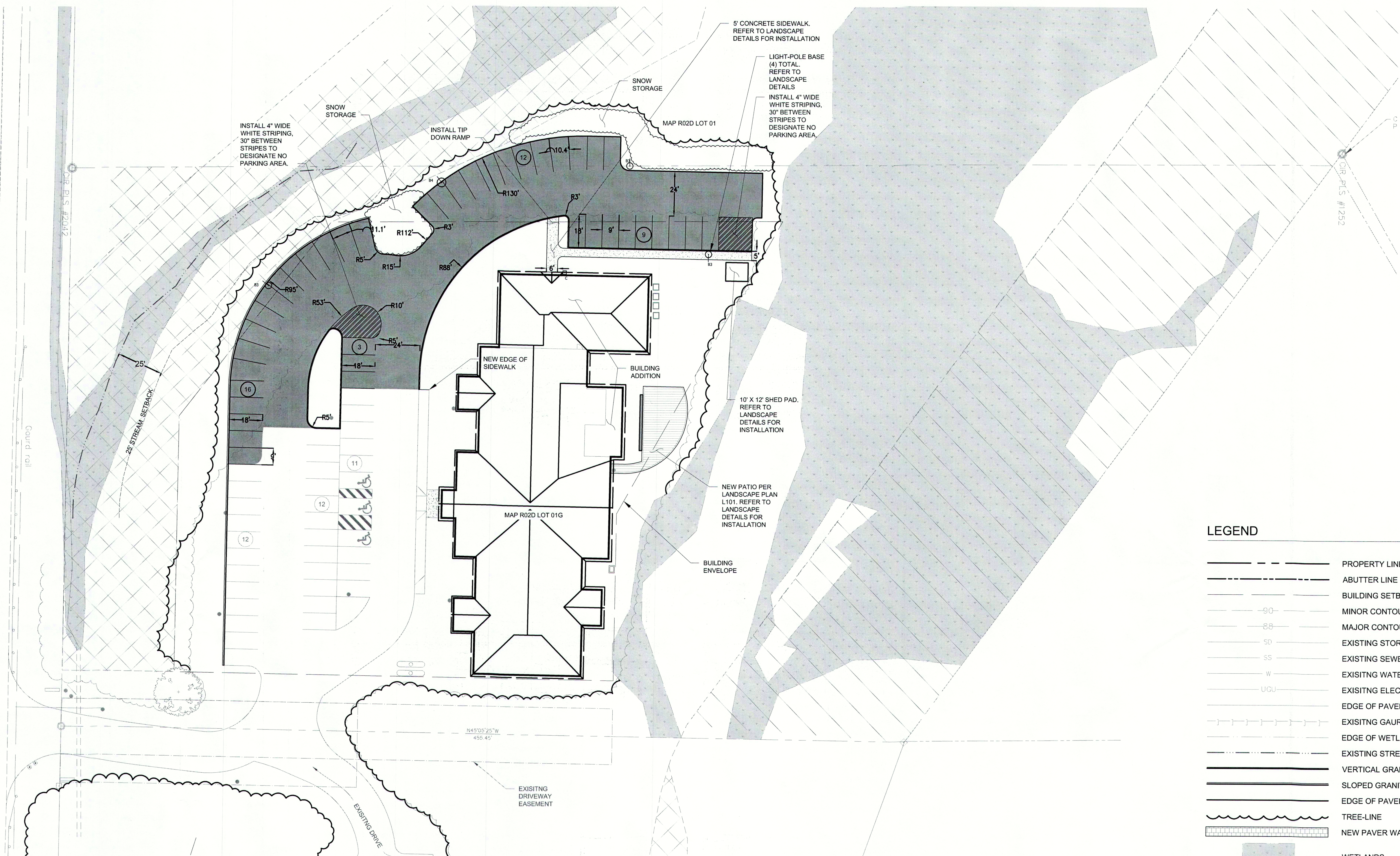
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Revised Site Plan - 2015 Addition



U.S. ROUTE 1



PLAN REFERENCES

1. "STANDARD BOUNDARY SURVEY, CUMBERLAND BUSINESS PARK", PREPARED BY SQUAW BAY CORP, 1995 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 195 PAGE 177.
2. "PLAN OF EXISTING CONDITIONS SURVEY", ROUTE 1, CUMBERLAND, MAINE, MADE FOR SYTDESIGN CONSULTANTS, PREPARED BY TITCOMB ASSOCIATES, DATED JANUARY 6, 2006.
3. "GRADING, DRAINAGE AND SOIL EROSION CONTROL PLAN, PROPOSED OFFICE BUILDING" PREPARED FOR BTE ENTERPRISES BY SYTDESIGN CONSULTANTS.
4. WETLANDS DELINEATION UPDATED BY MARK CENCI (#467) IN DECEMBER, 2014.
5. "SOILS PLAN" PREPARED FOR LELAND DAHLGREN BY SQUAW BAY CORP. AND JOSEPH NOEL (#209) DATED 2/6/1995

SITE PLAN NOTES

1. BUILDING SETBACKS ESTABLISHED PER PREVIOUS TOWN OF CUMBERLAND SUBDIVISION APPROVAL.
2. WETLAND BUFFERS ESTABLISHED BY PRIOR SITE LOCATION OF DEVELOPMENT APPROVAL AND SUBJECT TO AMENDMENT PER THE PROPOSED PROJECT IMPACTS.
3. ALL DIMENSIONS ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
4. ALL SIGNAGE AND PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH MUTCD STANDARDS AND TOWN OF CUMBERLAND STANDARDS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
6. LAYOUT AND LIMITS OF DISTURBANCE SHALL BE MARKED FOR OWNER'S APPROVAL PRIOR TO DISTURBANCE.

ZONING SUMMARY

TAX MAP - R02D LOT 001 AND 001G			
ZONE - OFFICE COMMERCIAL NORTH DISTRICT (OC-N)			
ROUTE ONE DESIGN GUIDELINES			
MINIMUM BUILDING SETBACK (FRONT)	REQUIRED 25 FT MIN.	PROPOSED 202 FT MIN.	
MINIMUM BUILDING SETBACK (SIDE)	20 FT MIN.	31 FT MIN.	
MINIMUM BUILDING SETBACK (REAR)	65 FT MIN.	191 FT MIN.	
PARKING SPACES (1 SPACE PER 250 GROSS LEASABLE AREA) 16,150 SF /250=64.6 OR 65 PKG. REQUIRED.			
	EXISTING TO REMAIN 35	PROPOSED 35+40=75	

LEGEND

- PROPERTY LINE
- ABUTTER LINE
- BUILDING SETBACK
- MINOR CONTOUR
- MAJOR CONTOUR
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING ELECTRIC UNDERGROUND
- EDGE OF PAVEMENT/SIDEWALK
- EXISTING GAURDRAIL
- EDGE OF WETLAND
- EXISTING STREAM
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- EDGE OF PAVEMENT
- TREE-LINE
- NEW PAVER WALKWAY
- WETLANDS
- NO DISTURB BUFFER PER MDEP SLODA PERMIT 1995
- NEW PAVEMENT
- EXISTING LIGHTPOLE
- NEW LIGHTING
- 9' X 18' STALLS & CURVE RADIUS ACCESSIBLE SPACE (TYP.)

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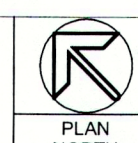
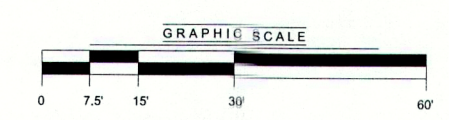
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C	3-7-15	MDEP SLODA AMEND
D	3-30-15	PER TOWN COMMENTS

DATE:	02-19-15
PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	1" = 30'-0"

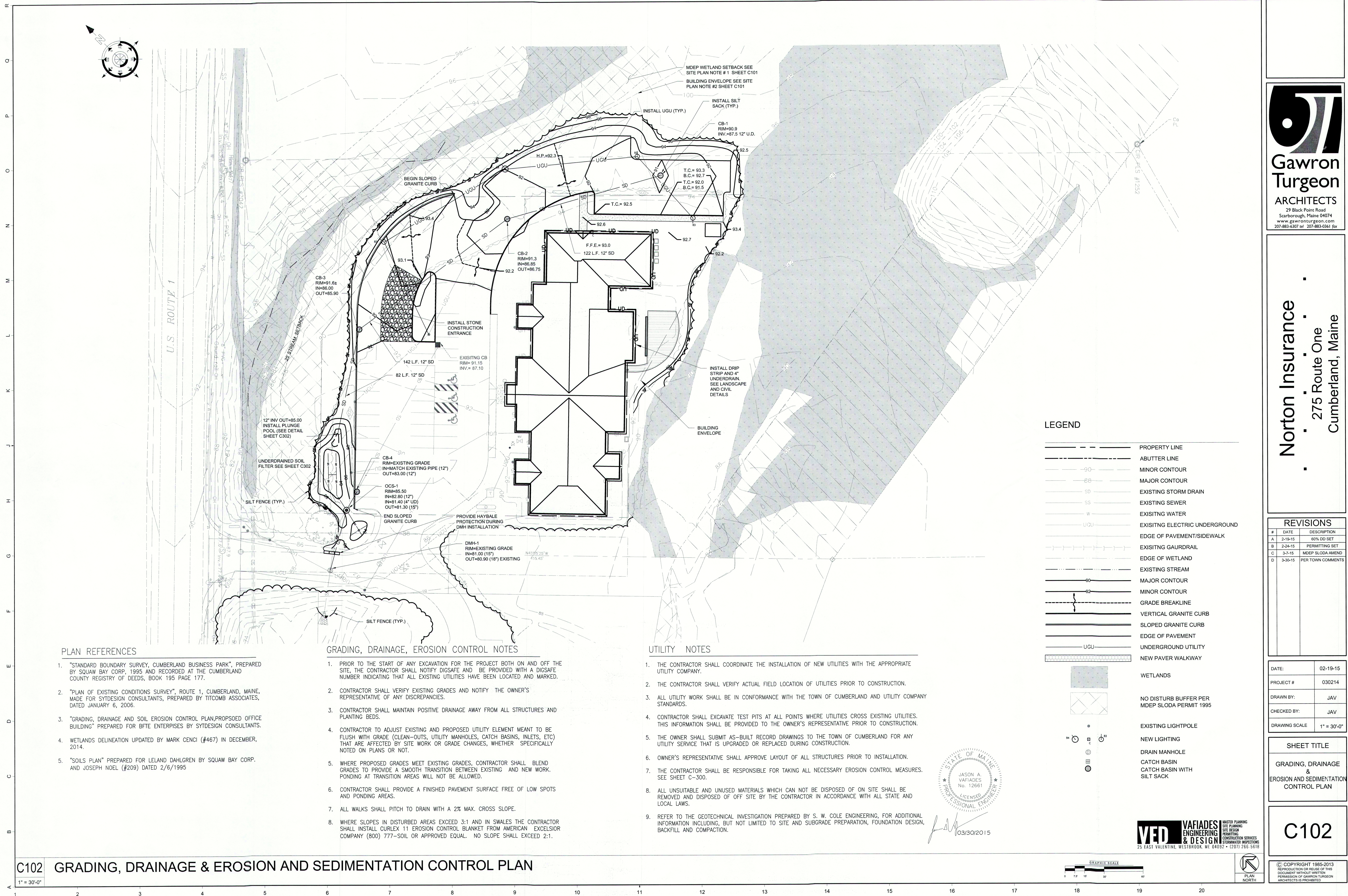
SHEET TITLE
SITE LAYOUT
&
MATERIALS PLAN

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SITE PLANNING
SITE DESIGN
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STORMWATER INSPECTIONS



PLAN REFERENCES

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- "SOILS PLAN" PREPARED FOR LELAND DAHLGREN BY SQUAW BAY CORP. AND JOSEPH NOEL (#209) DATED 2/6/1995

GRADING, DRAINAGE, EROSION CONTROL NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSAFE AND BE PROVIDED WITH A DISSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND PLANTING BEDS.
- CONTRACTOR TO ADJUST EXISTING AND PROPOSED UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS.
- ALL WALKS SHALL PITCH TO DRAIN WITH A 2% MAX. CROSS SLOPE.
- WHERE SLOPES IN DISTURBED AREAS EXCEED 3:1 AND IN SWALES THE CONTRACTOR SHALL INSTALL CURLEX 11 EROSION CONTROL BLANKET FROM AMERICAN EXCELSIOR COMPANY (800) 777-SOIL OR APPROVED EQUAL. NO SLOPE SHALL EXCEED 2:1.

UTILITY NOTES

- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY ACTUAL FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- ALL UTILITY WORK SHALL BE IN CONFORMANCE WITH THE TOWN OF CUMBERLAND AND UTILITY COMPANY STANDARDS.
- CONTRACTOR SHALL EXCAVATE TEST PITS AT ALL POINTS WHERE UTILITIES CROSS EXISTING UTILITIES. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE OWNER SHALL SUBMIT AS-BUILT RECORD DRAWINGS TO THE TOWN OF CUMBERLAND FOR ANY UTILITY SERVICE THAT IS UPGRADED OR REPLACED DURING CONSTRUCTION.
- OWNER'S REPRESENTATIVE SHALL APPROVE LAYOUT OF ALL STRUCTURES PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ALL NECESSARY EROSION CONTROL MEASURES. SEE SHEET C-300.
- ALL UNSUITABLE AND UNUSED MATERIALS WHICH CAN NOT BE DISPOSED OF ON SITE SHALL BE REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
- REFER TO THE GEOTECHNICAL INVESTIGATION PREPARED BY S. W. COLE ENGINEERING, FOR ADDITIONAL INFORMATION INCLUDING, BUT NOT LIMITED TO SITE AND SUBGRADE PREPARATION, FOUNDATION DESIGN, BACKFILL AND COMPACTION.

LEGEND

	PROPERTY LINE
	ABUTTER LINE
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING ELECTRIC UNDERGROUND
	EDGE OF PAVEMENT/SIDEWALK
	EXISTING GAUARDRAIL
	EDGE OF WETLAND
	EXISTING STREAM
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAKLINE
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	EDGE OF PAVEMENT
	UNDERGROUND UTILITY
	NEW PAVES WALKWAY
	WETLANDS
	NO DISTURB BUFFER PER MDEP SLODA PERMIT 1995
	EXISTING LIGHTPOLE
	NEW LIGHTING
	DRAIN MANHOLE
	CATCH BASIN
	CATCH BASIN WITH SILT SACK

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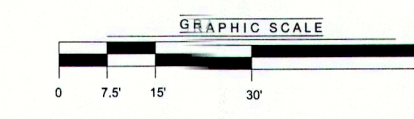
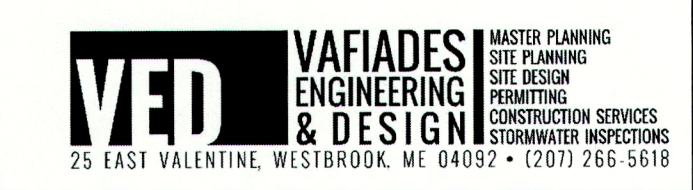
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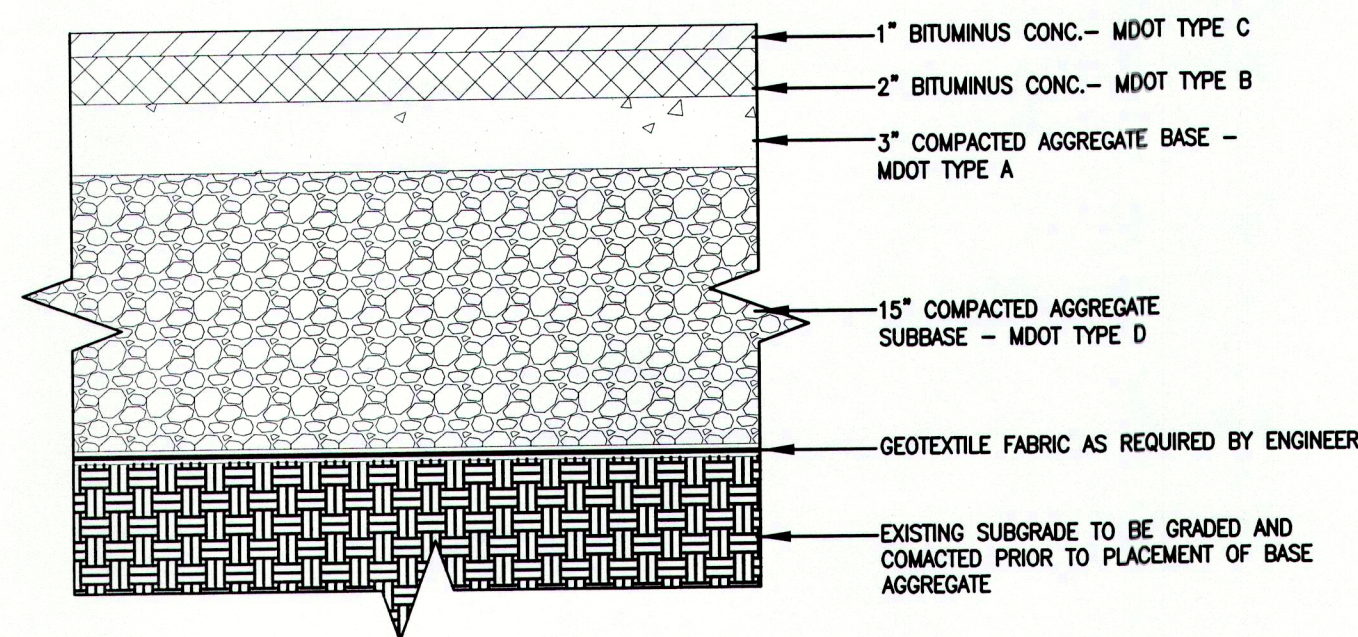
DATE:	02-19-15
PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	1" = 30'-0"

SHEET TITLE
GRADING, DRAINAGE
&
EROSION AND SEDIMENTATION
CONTROL PLAN

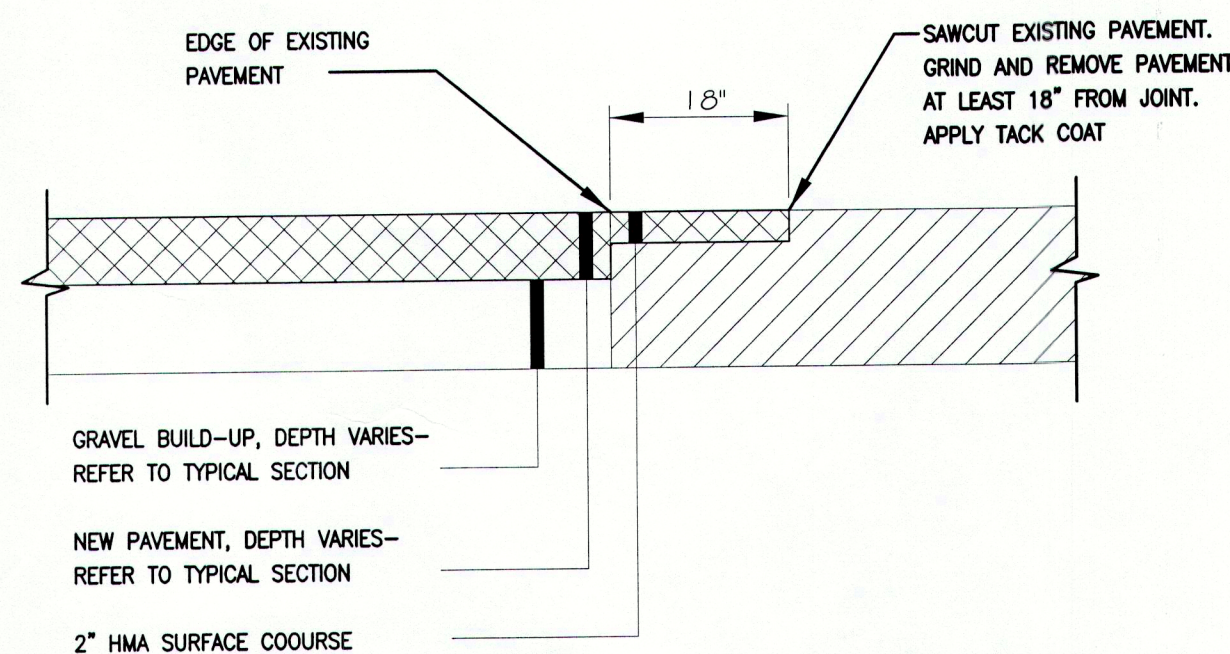
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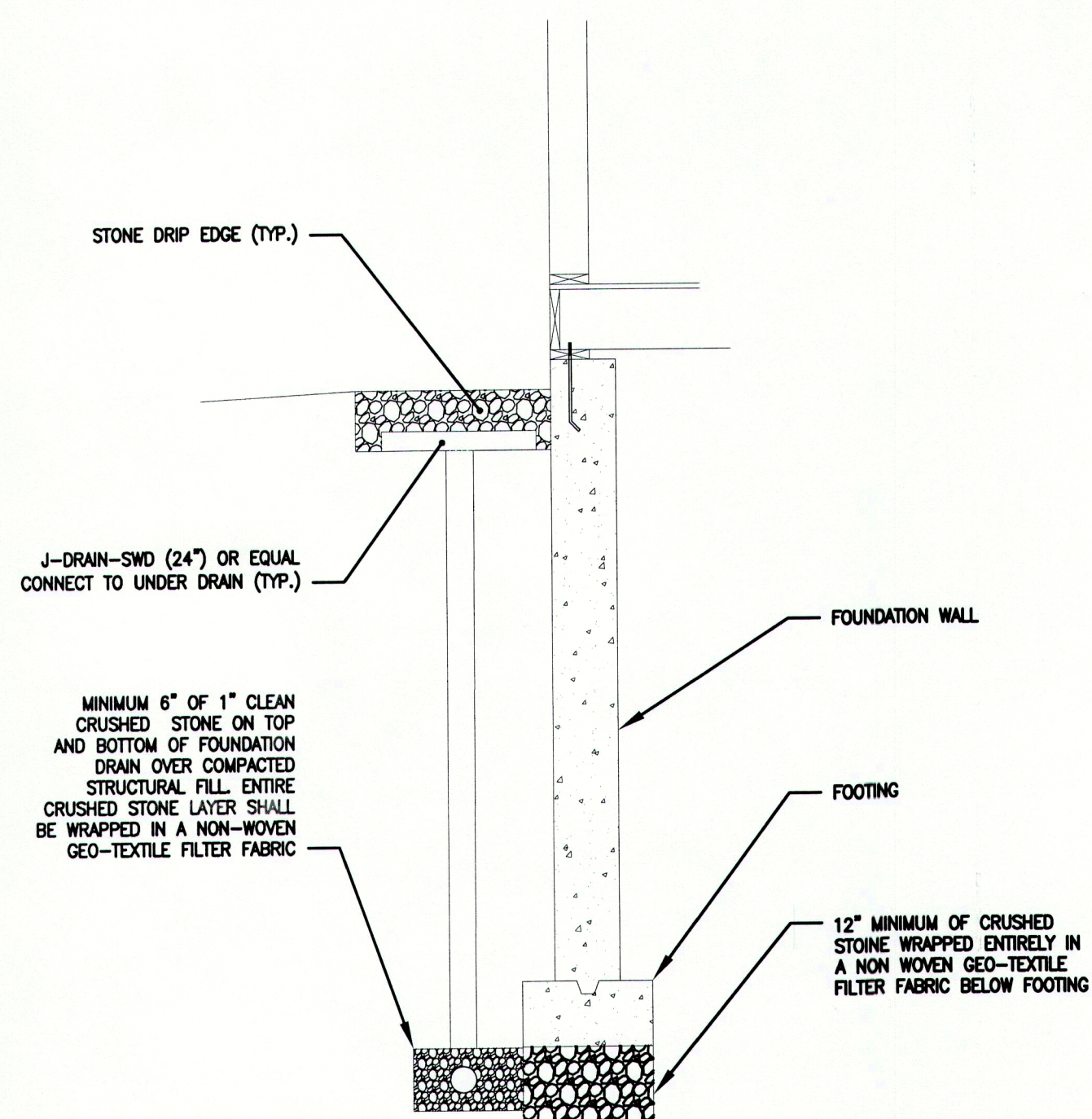




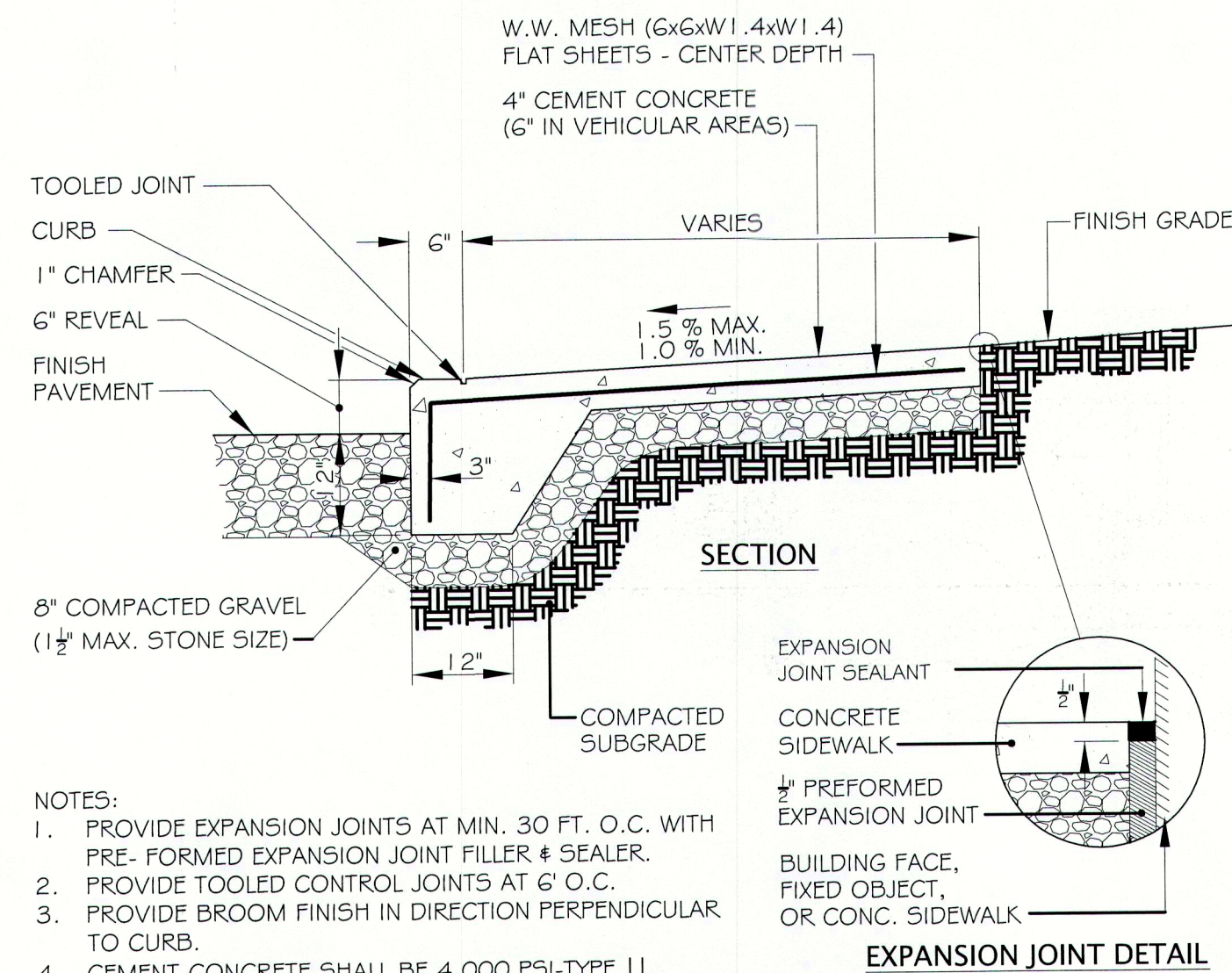
1 NEW PAVEMENT DETAIL
NOT TO SCALE



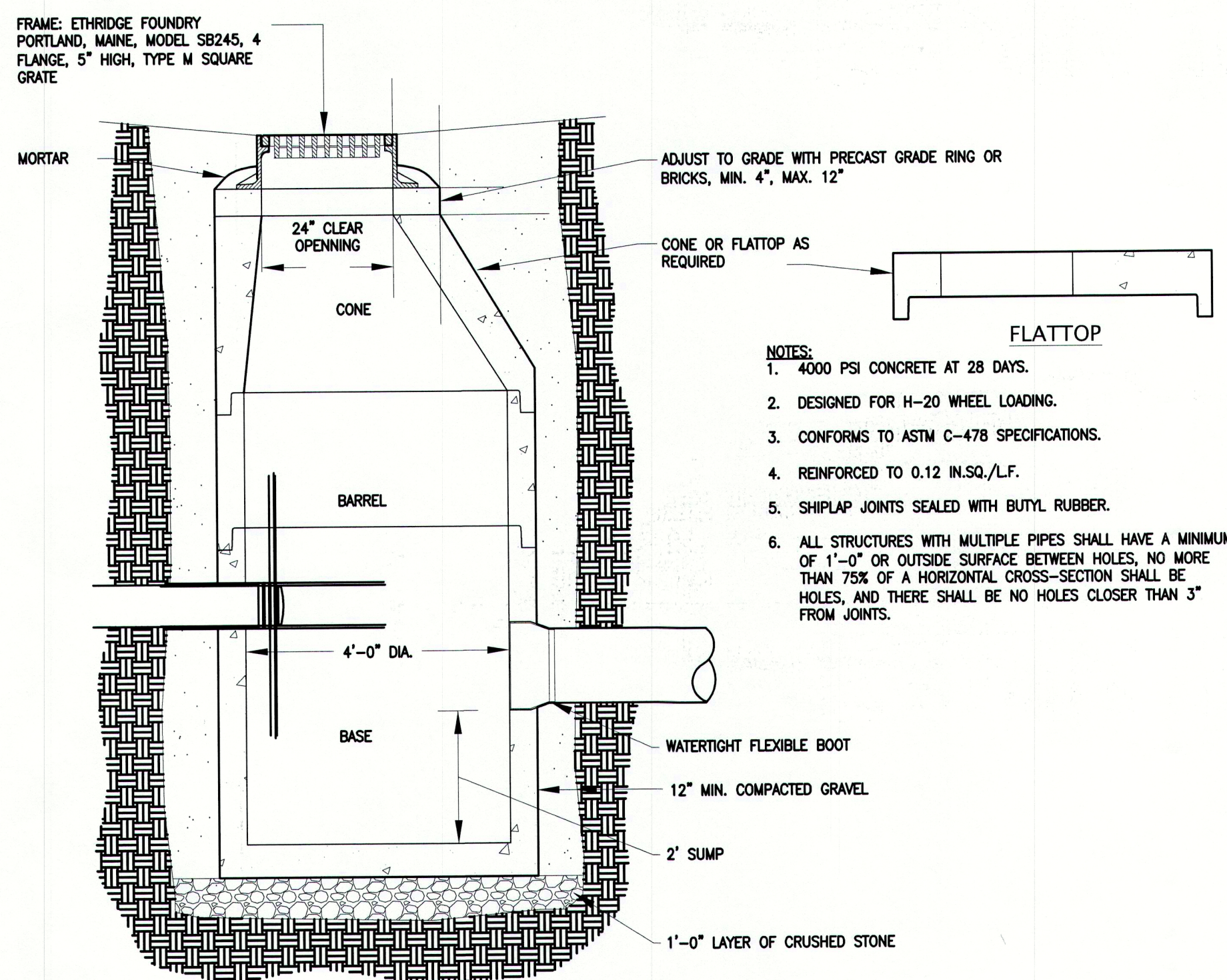
2 PAVEMENT BUTT-JOINT DETAIL
NOT TO SCALE



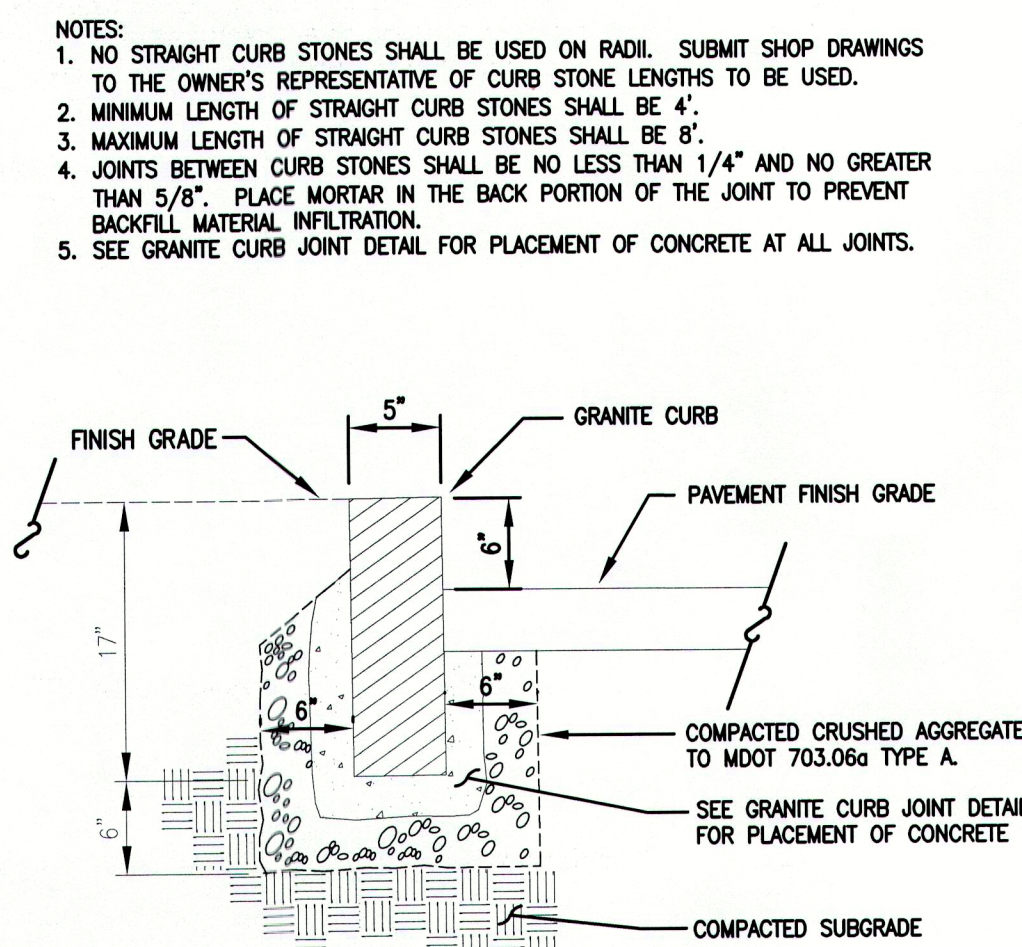
3 J-DRAIN & FOUNDATION DRAIN DETAIL
NOT TO SCALE



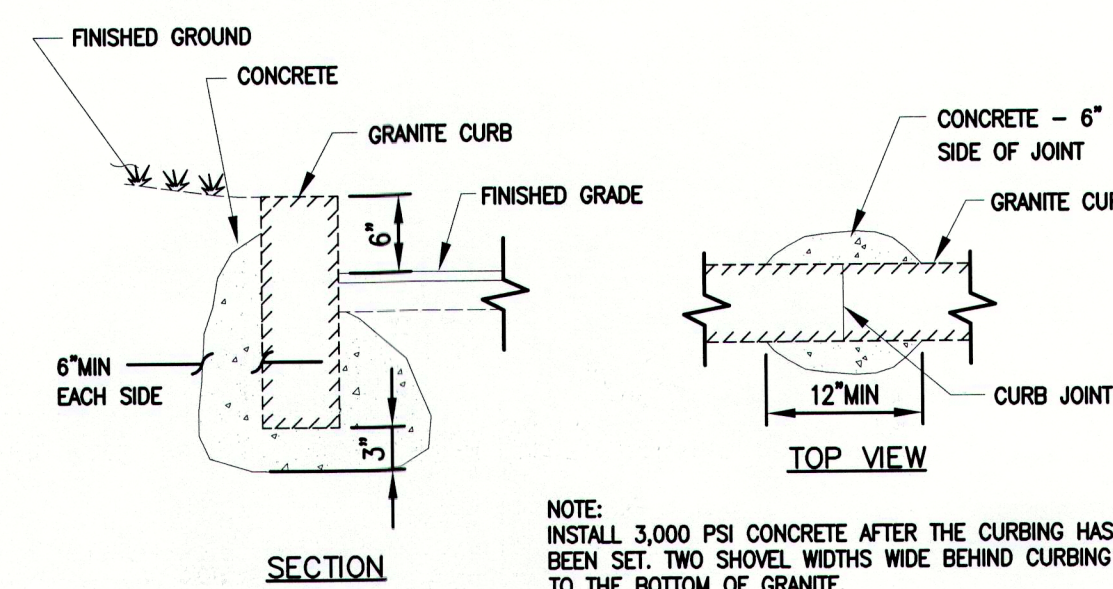
4 MONOLITHIC CONCRETE CURB & SIDEWALK
NOT TO SCALE



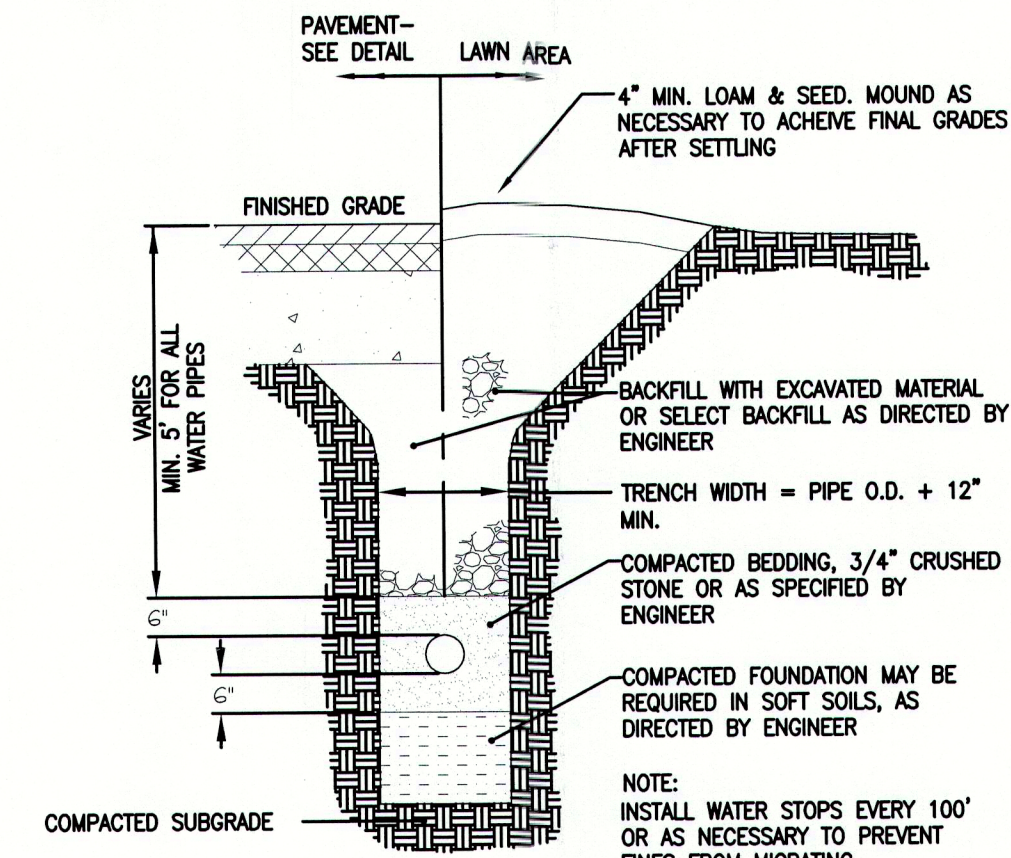
5 CATCH BASIN DETAIL
NOT TO SCALE



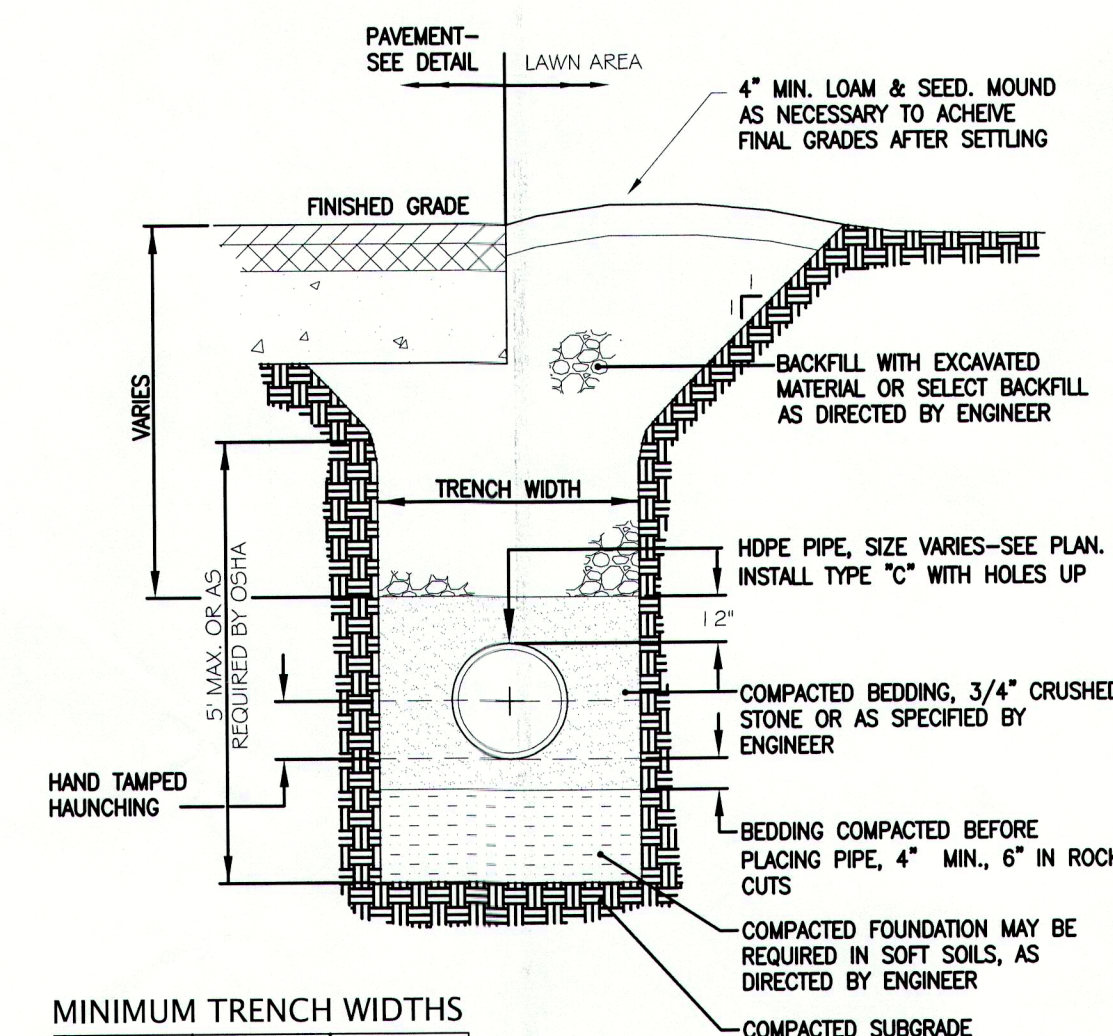
7 GRANITE CURB - VERTICAL
NOT TO SCALE



8 GRANITE CURB JOINT
NOT TO SCALE



9 UTILITY TRENCH SECTION
NOT TO SCALE

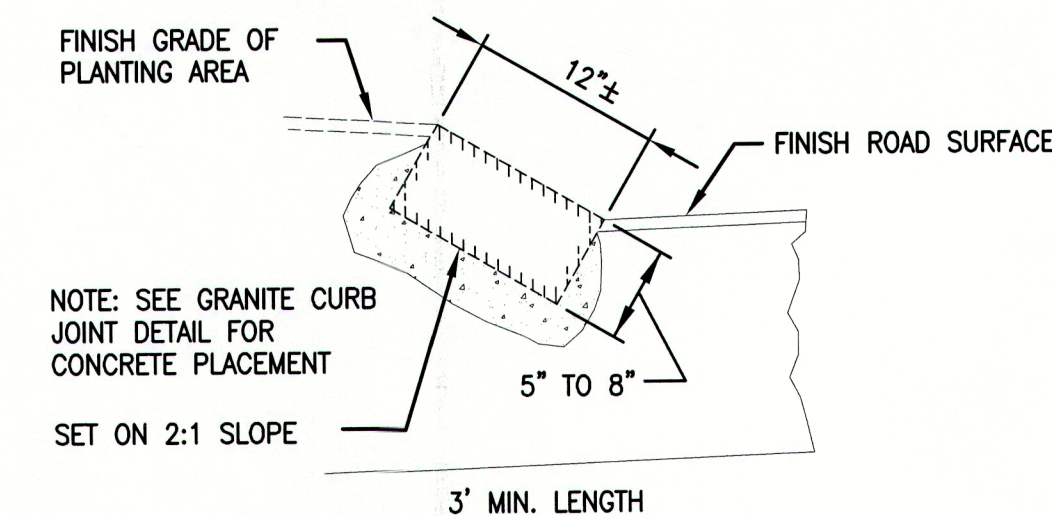


MINIMUM TRENCH WIDTHS

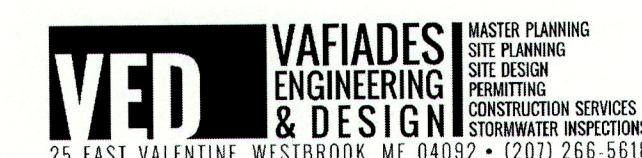
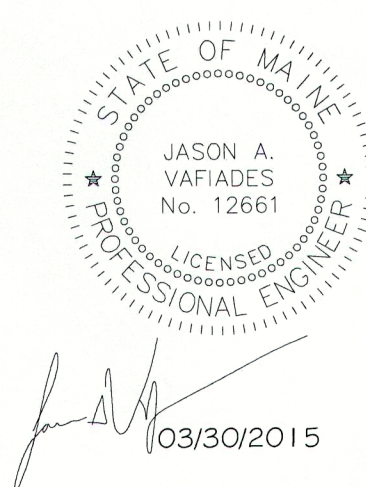
PIPE DIA.	PIPE O.D.	TRENCH WIDTH
12"	14.45"	31"
15"	17.65"	34"
18"	21.10"	39"
24"	28.30"	48"
30"	36.10"	60"
36"	42.25"	78"
42"	47.00"	83"
48"	53.00"	89"
60"	66.30"	102"

- NOTES:
- WHERE TRENCHES PENETRATE DETENTION BASIN EMBANKMENTS OR OTHER SUCH SPECIAL SECTIONS, BACKFILL SHALL CONFORM TO THEIR REQUIREMENTS.
 - INSTALL WATER STOPS EVERY 100' OR AS NECESSARY TO PREVENT FINES FROM MIGRATING.
 - TRENCH WIDTH SHALL BE WIDE ENOUGH TO ACCOMMODATE COMPACTION EQUIPMENT.

10 HDPE PIPE TRENCH
NOT TO SCALE



11 GRANITE CURB - SLOPED
NOT TO SCALE



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REVISIONS

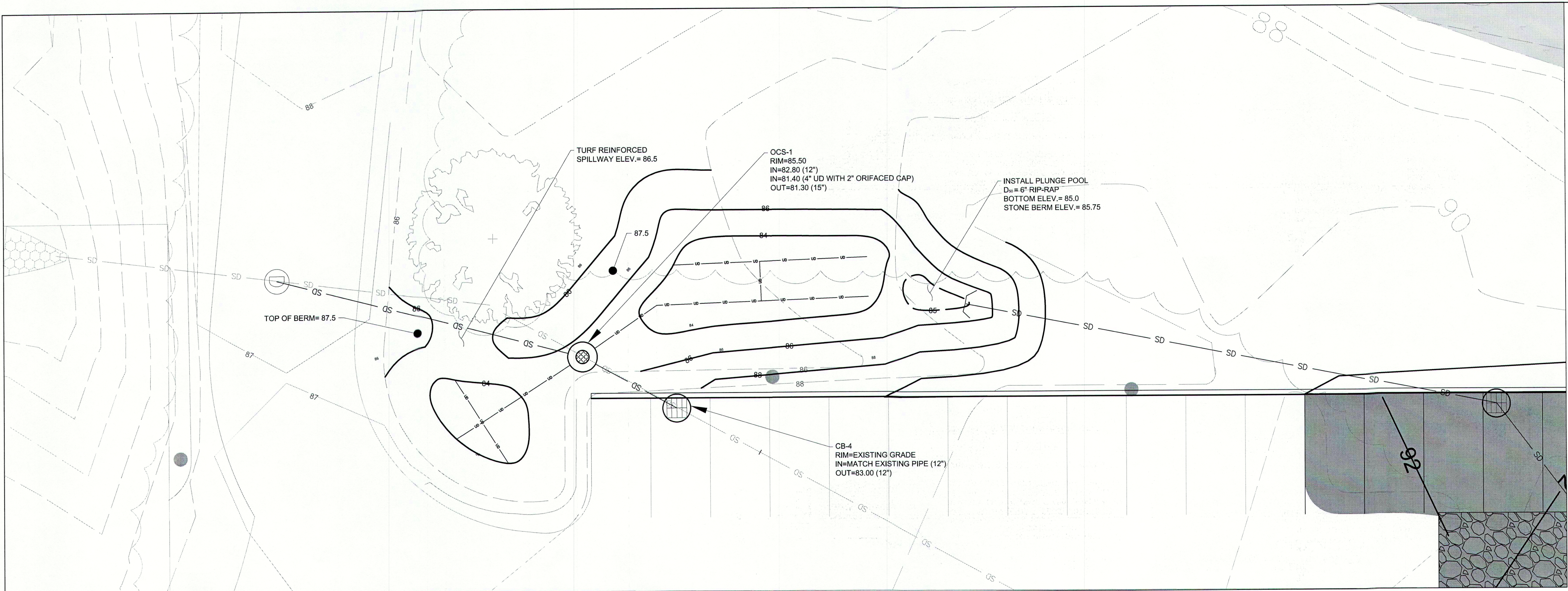
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DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	Not To Scale

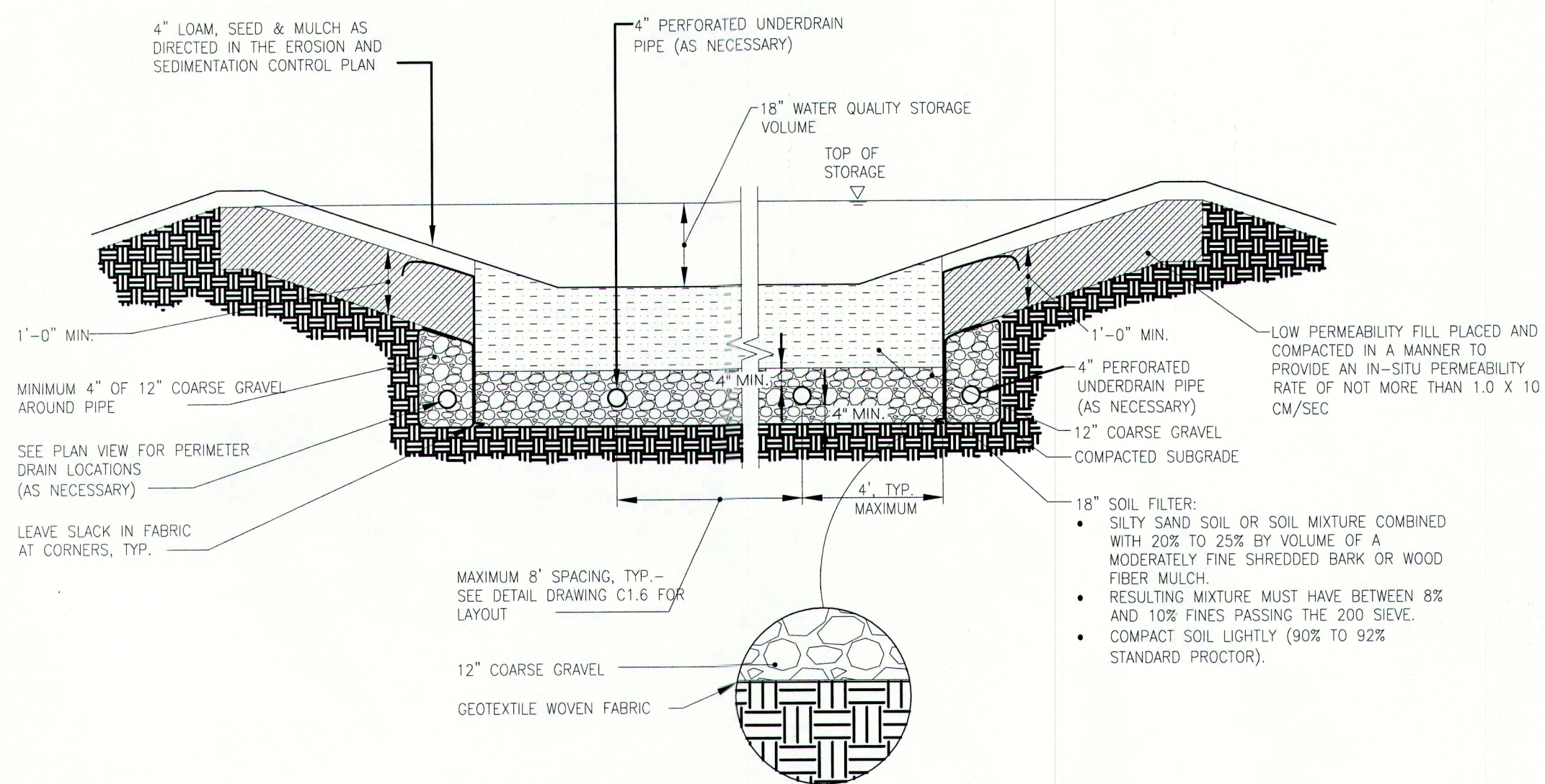
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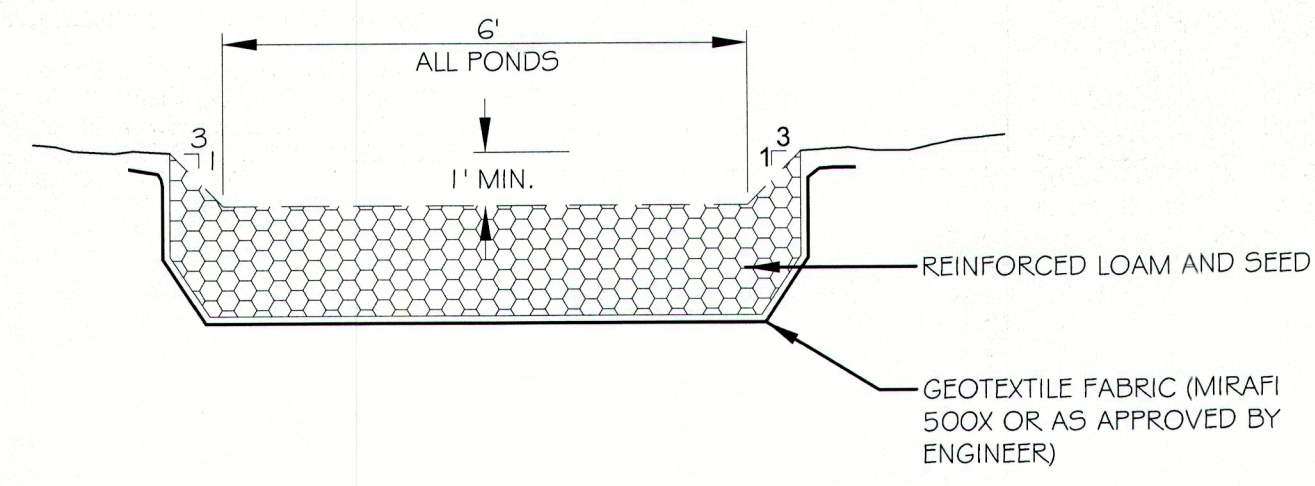


PLAN VIEW 1"= 10'

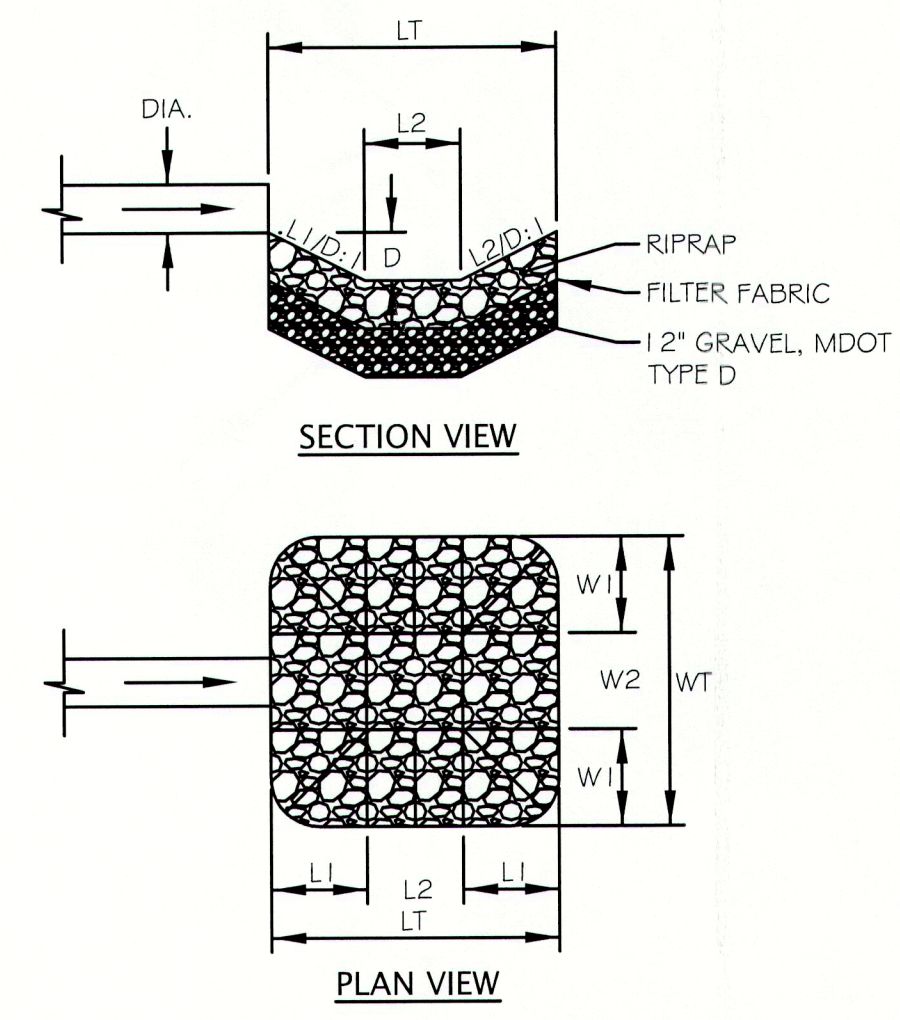


- NOTES:
1. SOIL FILTERS SHALL BE FULLY STABILIZED WITH PERMANENT VEGETATION PRIOR TO DIRECTING ANY STORMWATER TO THEM.
 2. ANY AREAS DRAINING TO THE SOIL FILTERS SHALL BE DIRECTED AWAY FROM THE SOIL FILTERS UNTIL THEY ARE PERMANENTLY STABILIZED.
 3. UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDOT 605.04, TYPE B, EXCEPT AS NOTED.
 4. OUTLETS SHALL BE GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT.
 5. THE FOLLOWING MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO ORDERING:
 - SOIL FILTER
 - COARSE GRAVEL

1 UNDERDRAINED SOIL FILTER DETAIL NOT TO SCALE



2 OVERFLOW SPILLWAY DETAIL NOT TO SCALE



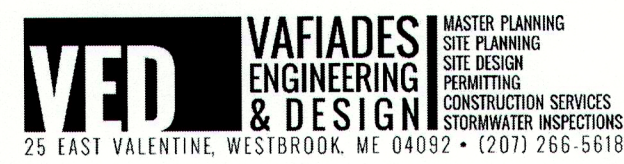
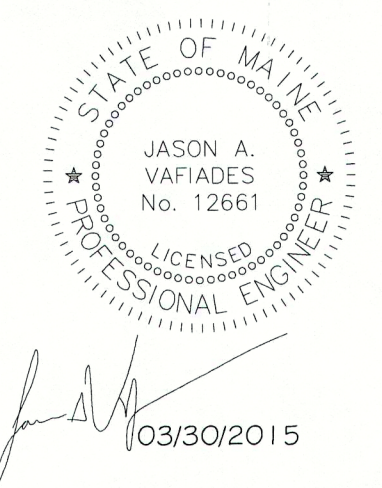
SECTION VIEW

PLAN VIEW

SCHEDULE

DIA.	L1	L2	LT	W1	W2	WT	D	STONE D50	RIPRAP THICKNESS
12"	2'	2'	6'	2'	2'	6'	1'	6"	14"
15"	2'	2'	6'	2'	2'	6'	1'	6"	14"
18"	3'	2'	8'	3'	2'	8'	1'	6"	14"
24"	3'	2'	8'	3'	2'	8'	1'	6"	14"
36"	4'	2'	10'	4'	2'	10'	2'	12"	27"
42"	4'	3'	11'	3'	3'	11'	2'	12"	27"
48"	5'	3'	13'	5'	3'	13'	2.5'	12"	27"

3 PLUNGE POOL DETAIL NOT TO SCALE



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REVISIONS		
#	DATE	DESCRIPTION
A	2-19-15	60% DD SET
B	2-24-15	PERMITTING SET
C	3-7-15	MDOT SLODA AMEND
D	3-30-15	PER TOWN COMMENTS

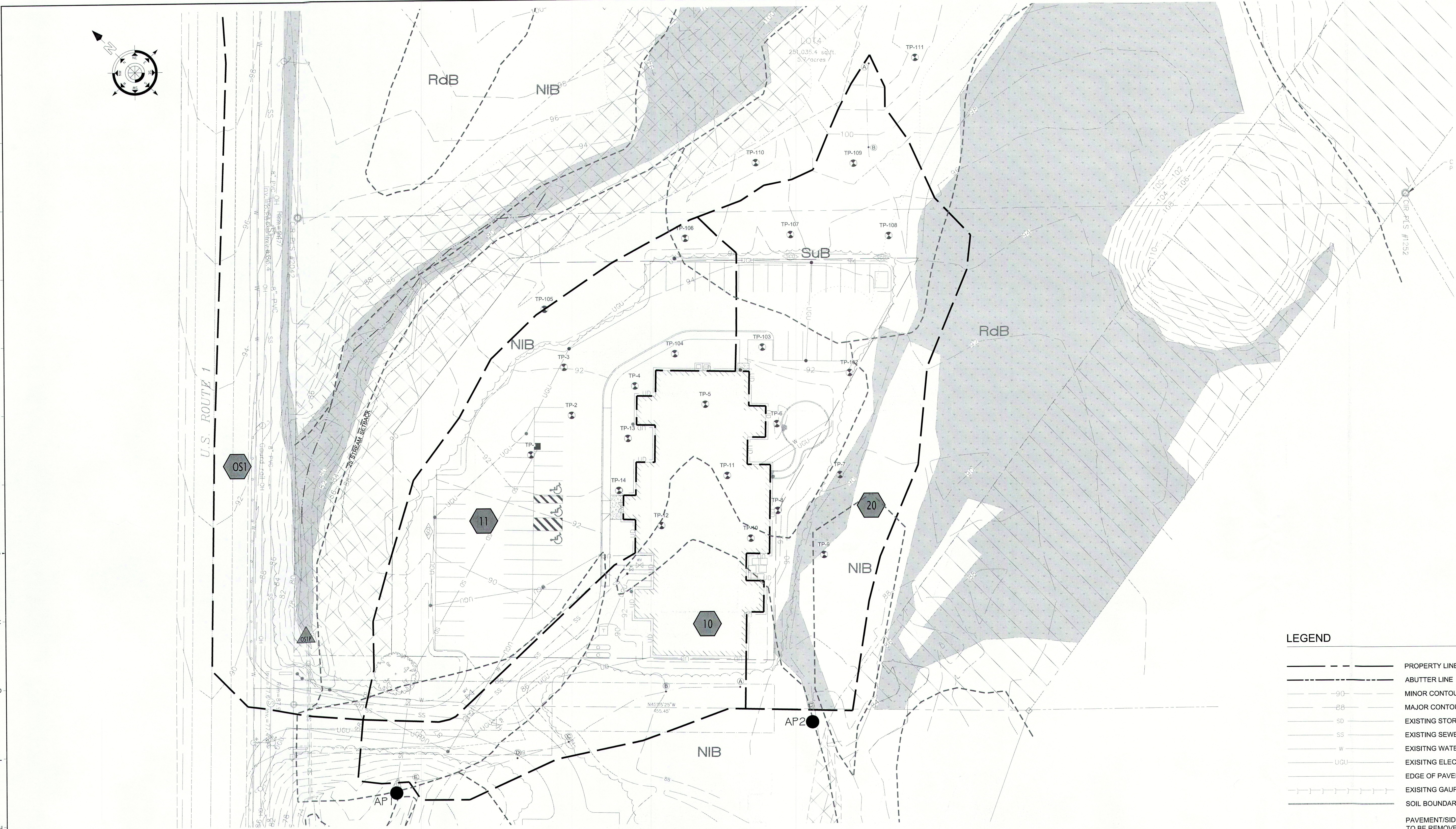
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PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	Not To Scale

SHEET TITLE
STORMWATER
BEST MANAGEMENT
PRACTICES
PLAN & DETAIL

C302

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PLAN REFERENCES

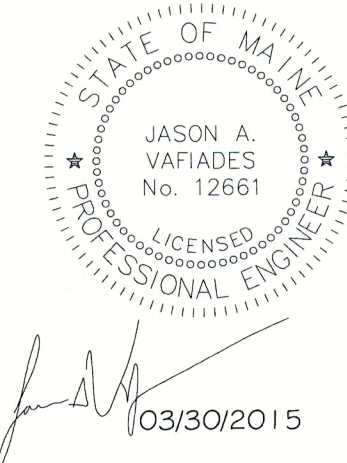
1. "STANDARD BOUNDARY SURVEY, CUMBERLAND BUSINESS PARK", PREPARED BY SQUAW BAY CORP., 1995 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 195 PAGE 177.
2. "PLAN OF EXISTING CONDITIONS SURVEY", ROUTE 1, CUMBERLAND, MAINE, MADE FOR SYTDESIGN CONSULTANTS, PREPARED BY TITCOMB ASSOCIATES, DATED JANUARY 6, 2006.
3. "GRADING, DRAINAGE AND SOIL EROSION CONTROL PLAN, PROPOSED OFFICE BUILDING" PREPARED FOR BITE ENTERPRISES BY SYTDESIGN CONSULTANTS.
4. WETLANDS DELINEATION UPDATED BY MARK CENCI (#467) IN DECEMBER, 2014.
5. "SOILS PLAN" PREPARED FOR LELAND DAHLGREN BY SQUAW BAY CORP. AND JOSEPH NOEL (#209) DATED 2/6/1995

SOILS LEGEND

MAP SYMBOL	SOIL SERIES	HSG	SOIL SERIES
Ch	CHARLES	C	A= 0-3%
Ly	LYMAN	C/D	B= 3-8%
Md	MADE LAND	C (ASSUMED)	C= 8-15%
No	NASKEAG	C	D= 15-25%
Ni	NICHOLVILLE	C	E= >25%
Rd	ROUNDABOUT	C	
Su	SUNAPEE	B	
Tu	TUNBRIDGE	C	

LEGEND

	PROPERTY LINE
	ABUTTER LINE
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING ELECTRIC UNDERGROUND
	EDGE OF PAVEMENT/SIDEWALK
	EXISTING GAURDRAIL
	SOIL BOUNDARY
	PAVEMENT/SIDEWALK TO BE REMOVED
	LIGHT POST TO BE REMOVED & RELOCATED
	SUBCATCHMENT LABEL
	POND LABEL
	REACH LABEL
	REACH PATH
	TIME OF CONCENTRATION
	SUBCATCHMENT DIVIDE
	POINT OF ANALYSIS



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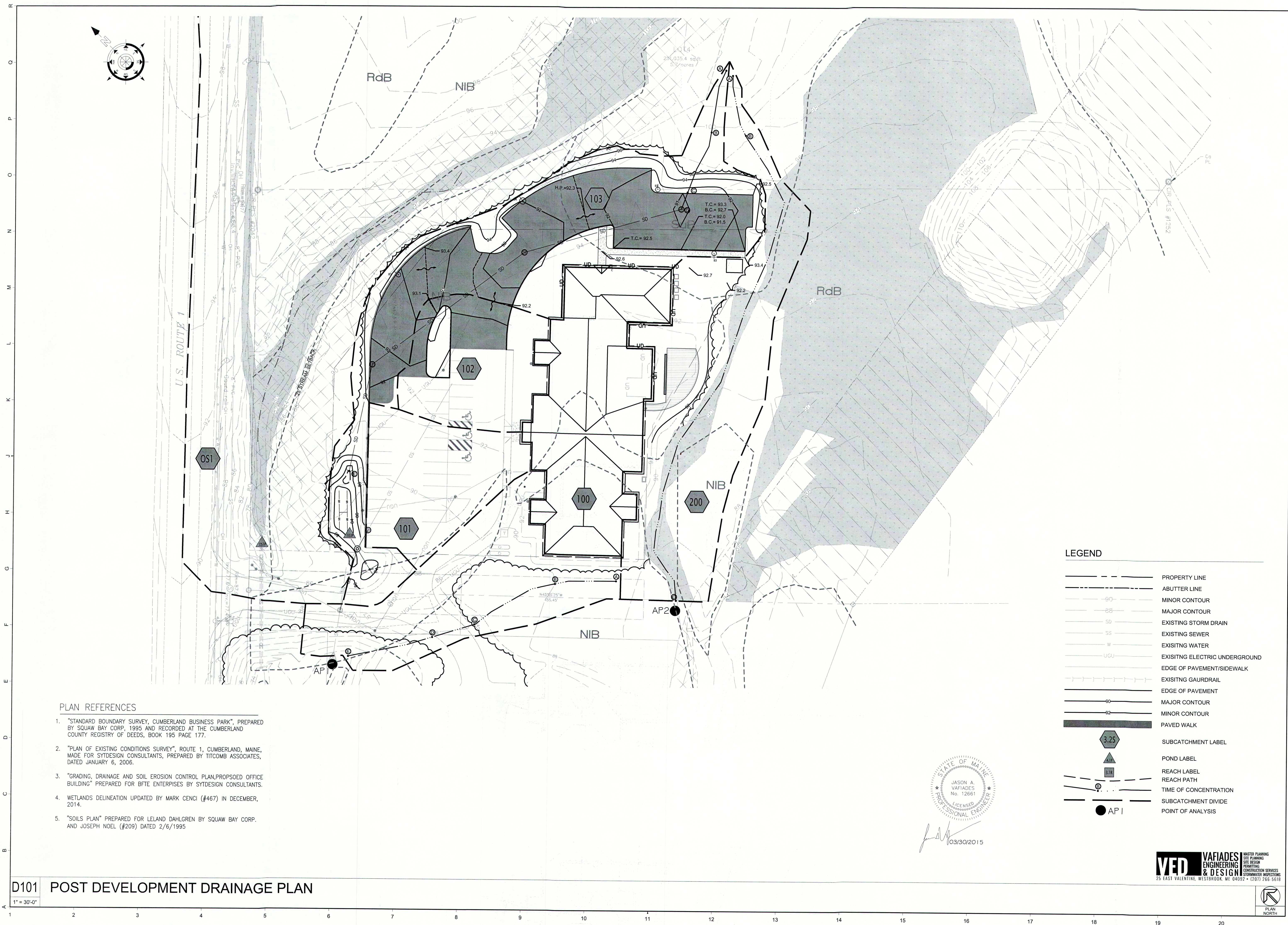
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#	DATE	DESCRIPTION
A	2-19-15	60% DD SET
B	3-24-15	PERMITTING SET
C	3-7-15	MDP SLODA AMEND
D	3-30-15	PER TOWN COMMENTS

DATE:	02-19-15
PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	1" = 30'-0"

SHEET TITLE
PRE-DEVELOPMENT DRAINAGE PLAN

D100

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PLAN REFERENCES

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5. "SOILS PLAN" PREPARED FOR LELAND DAHLGREN BY SQUAW BAY CORP. AND JOSEPH NOEL (#209) DATED 2/6/1995

LEGEND

- PROPERTY LINE
- ABUTTER LINE
- MINOR CONTOUR
- MAJOR CONTOUR
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING ELECTRIC UNDERGROUND
- EDGE OF PAVEMENT/SIDEWALK
- EXISTING GAUDDRAIL
- EDGE OF PAVEMENT
- MAJOR CONTOUR
- MINOR CONTOUR
- PAVED WALK
- SUBCATCHMENT LABEL
- POND LABEL
- REACH LABEL
- REACH PATH
- TIME OF CONCENTRATION
- SUBCATCHMENT DIVIDE
- POINT OF ANALYSIS

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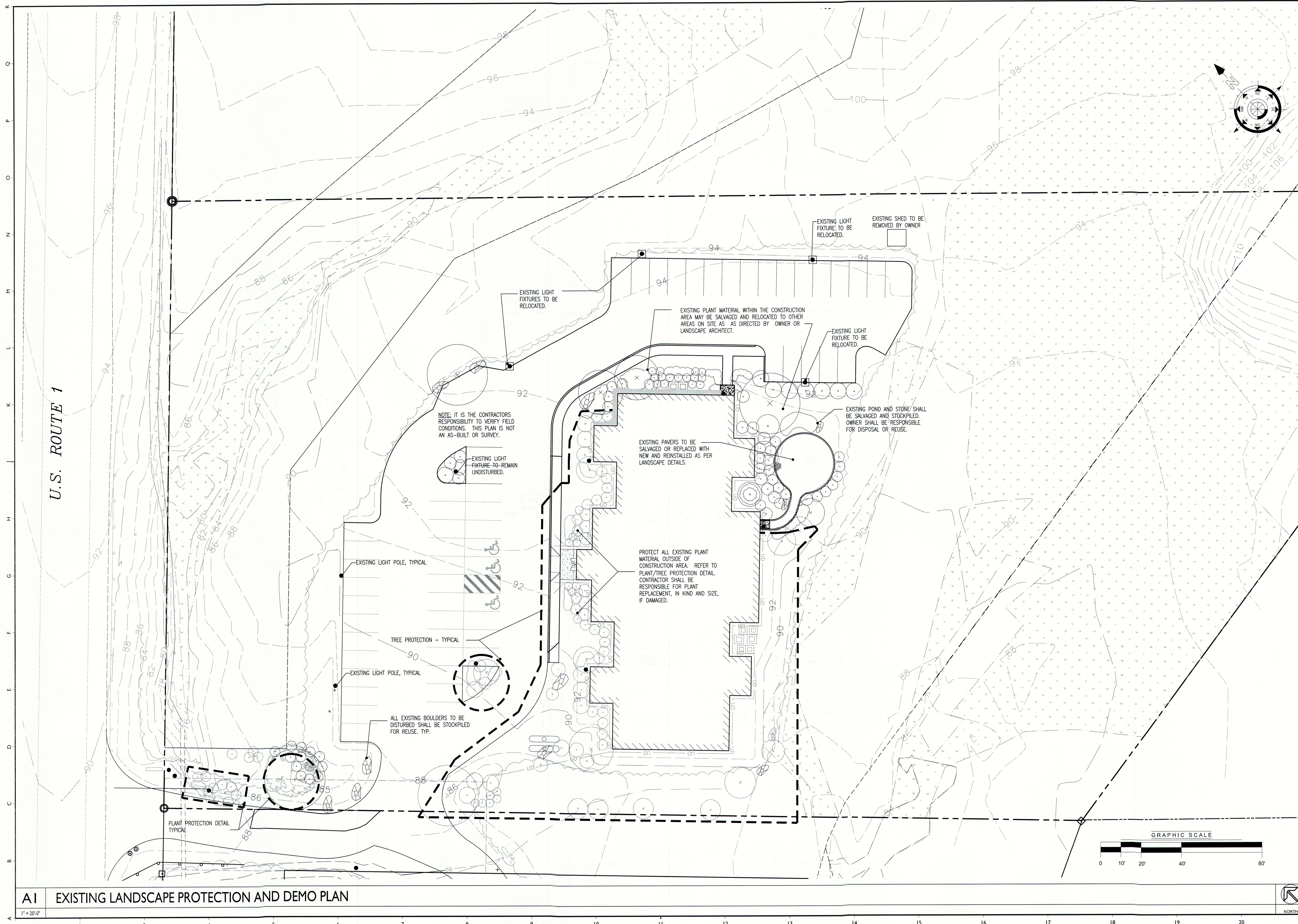
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A	2-19-15	60% DD SET
B	2-24-15	PERMITTING SET
C	3-7-15	MDP SLIDAMEND
D	3-30-15	PER TOWN COMMENTS

DATE:	02-19-15
PROJECT #	030214
DRAWN BY:	JAV
CHECKED BY:	JAV
DRAWING SCALE	1" = 30'-0"

SHEET TITLE
POST-DEVELOPMENT DRAINAGE PLAN

D101

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REVISIONS		
#	DATE	DESCRIPTION
A	2-19-15	60% DD SET
B	2-24-15	PRELIM SITE PLAN
C	3-31-15	FINAL SITE PLAN

DATE:	3-31-15
PROJECT #:	030214
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1" = 20'

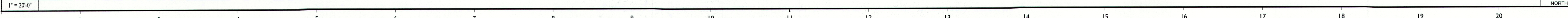
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EXISTING LANDSCAPE
PROTECTION
AND DEMO PLAN

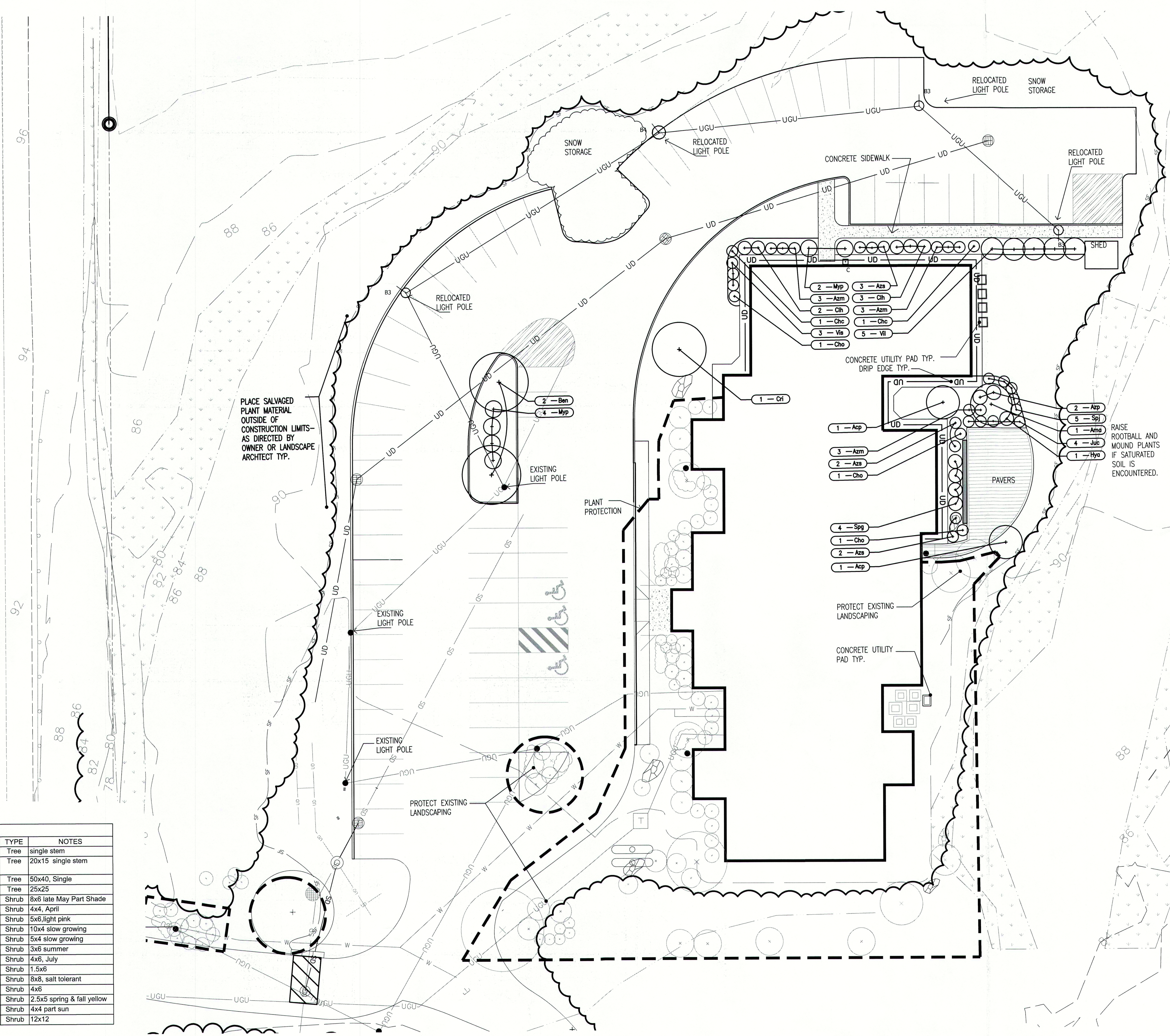
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AI EXISTING LANDSCAPE PROTECTION AND DEMO PLAN



PLANT SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	Count	TYPE	NOTES
Acp	Acer pseudosieboldianum 'North Wind'	Korean Maple 'North Wind'	1.5" cal	2	Tree	single stem
Ama	Amelanchier x Autumn Brilliance'	Shadbush	1.75" Single	1	Tree	20x15 single stem
Ben	Betula nigra 'Heritage'	Heritage River Birch	2" Single	2	Tree	50x40, Single
Cn	Crataegus crusgalli 'Inermis'	Cockspur Thornless Hawthorn	1.75" cal	1	Tree	25x25
Azp	Azalea prinothyllum 'Roseshell'	Roseshell Azalea	#3 - 3'	2	Shrub	8x6 late May Part Shade
Azm	Azalea mucronulatum Cornell Pink	Cornell Pink Azalea	#3 - 3'	9	Shrub	4x4, April
Azs	Azalea schlippenbachii	Royal Azalea	#3 - 3'	7	Shrub	5x6 light pink
Chc	Chamaecyparis obtusa 'Compacta'	Compact Hinoki Falsecypress	#5 - 4'	2	Shrub	10x4 slow growing
Cho	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Falsecypress	#5 - 3'	3	Shrub	5x4 slow growing
Ch	Clethra alnifolia 'Hummingbird'	Sweet Pepperbush 'Hummingbird'	2.5' #3	5	Shrub	3x6 summer
Hya	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3', #5	1	Shrub	4x6, July
Juc	Juniperus chinensis 'sargentii'	Green Sargentii Juniper	2.5', #3	4	Shrub	1.5x6
Myp	Myrica pensylvanica	Northern Bayberry	3', #5	6	Shrub	8x8, salt tolerant
Spq	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	2', #3	4	Shrub	4x6
Spj	Spiraea japonica 'Goldmound'	Gold Mound Spiraea	2', #3	5	Shrub	2.5x5 spring & fall yellow
Vis	Viburnum plicatum tomentosum 'Summer Snowflake'	Viburnum 'Summer Snowflake'	3', #3	3	Shrub	4x4 part sun
Vil	Viburnum lentago	Nannyberry	3', #5	5	Shrub	12x12



REVISIONS		
#	DATE	DESCRIPTION
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C	3-31-15	FINAL SITE PLAN

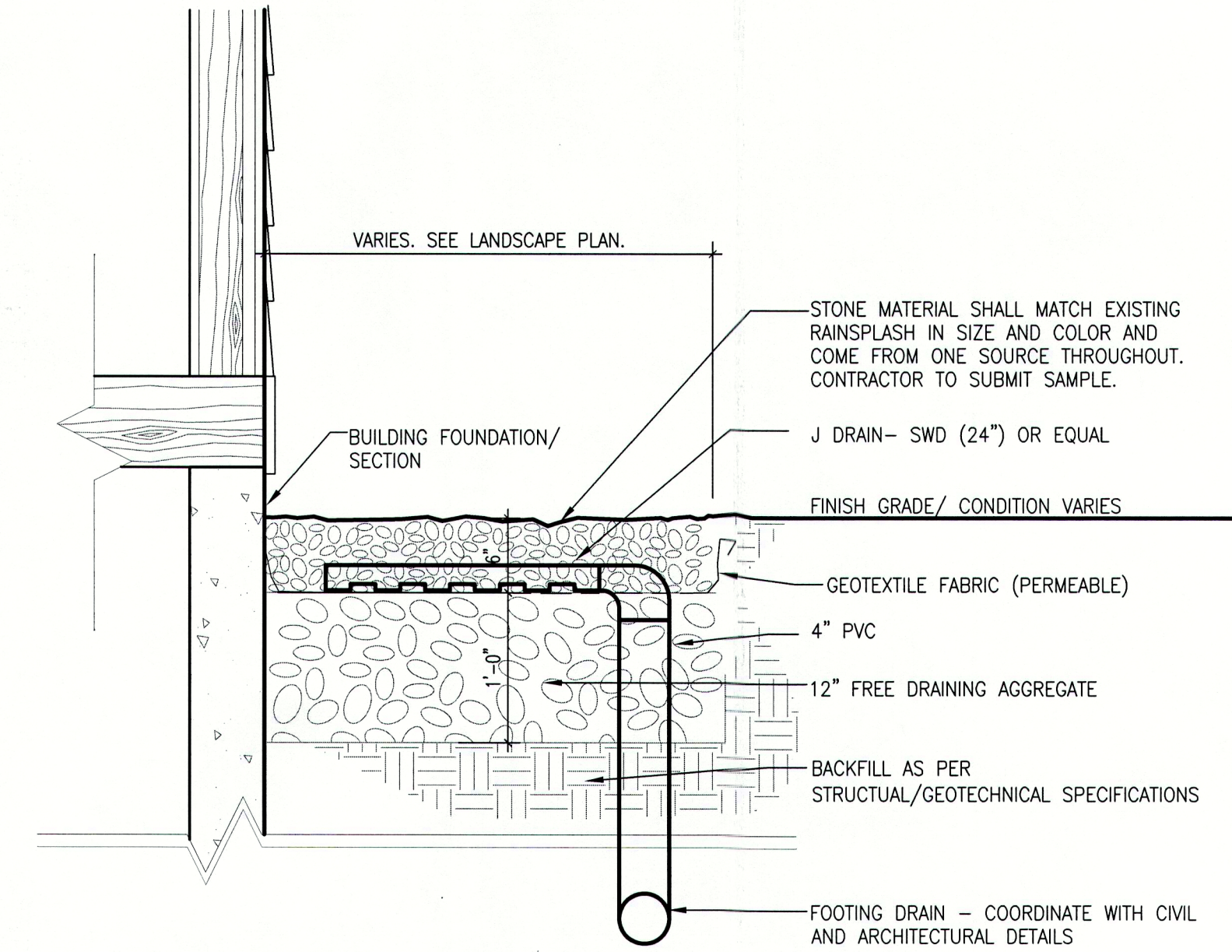
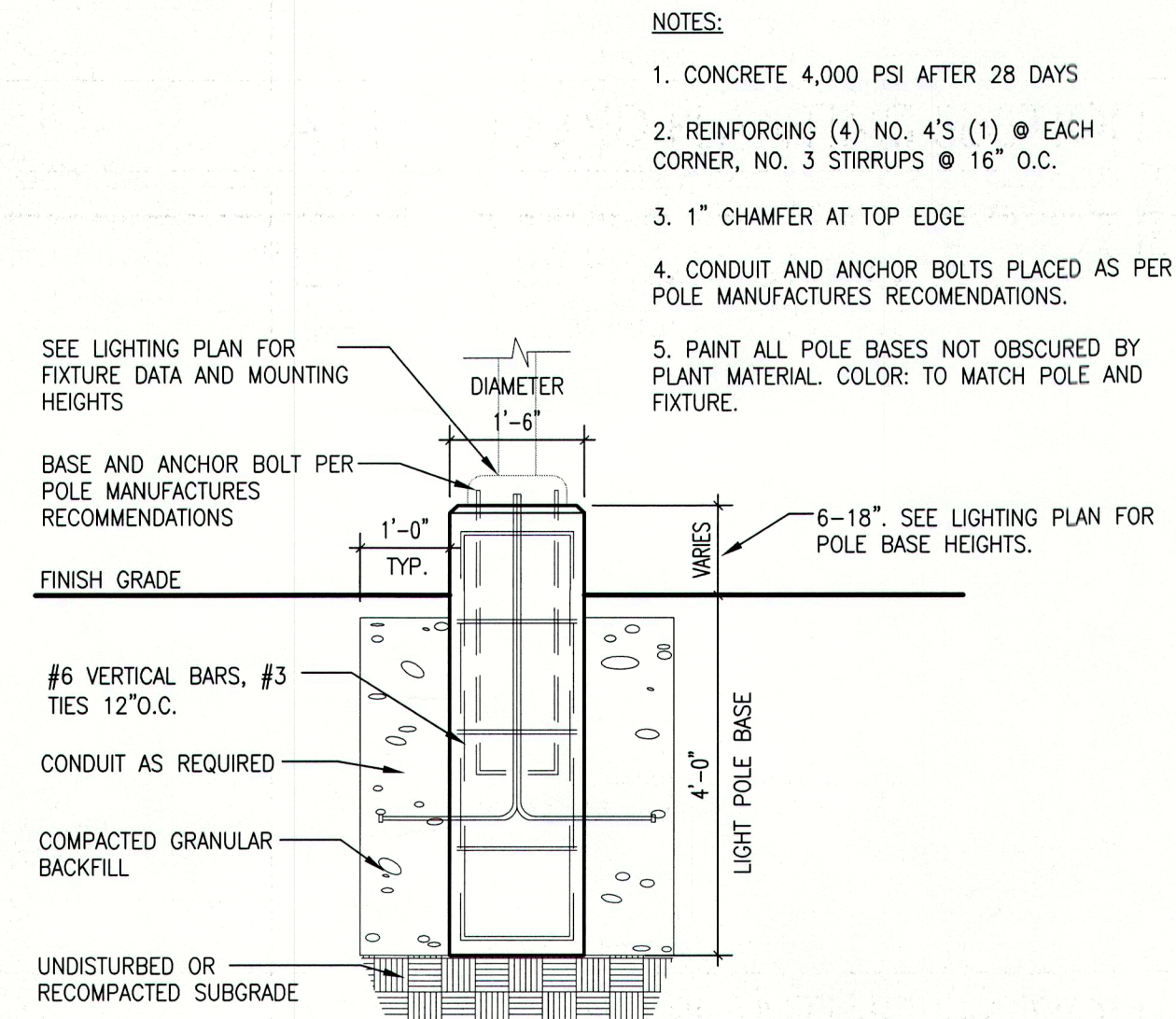
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PROJECT #	030214
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE	1" = 10'

SHEET TITLE

LANDSCAPE
PLANTING PLAN

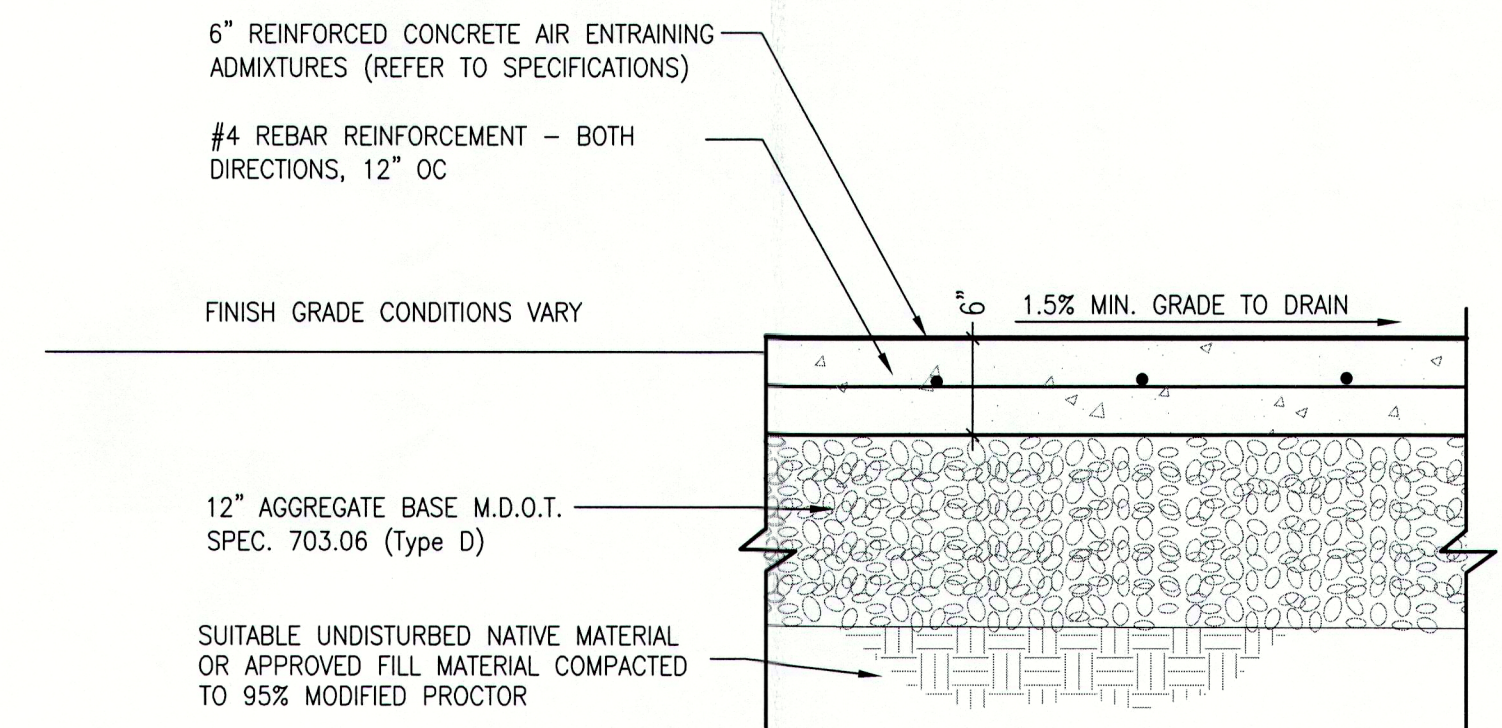
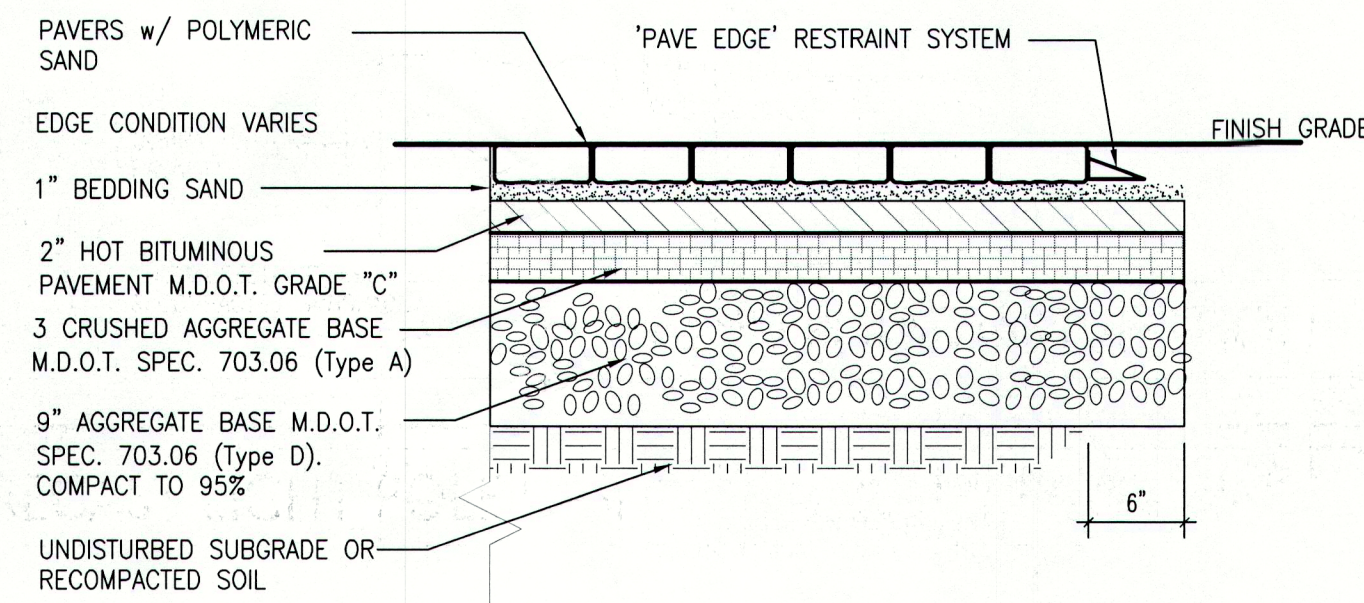
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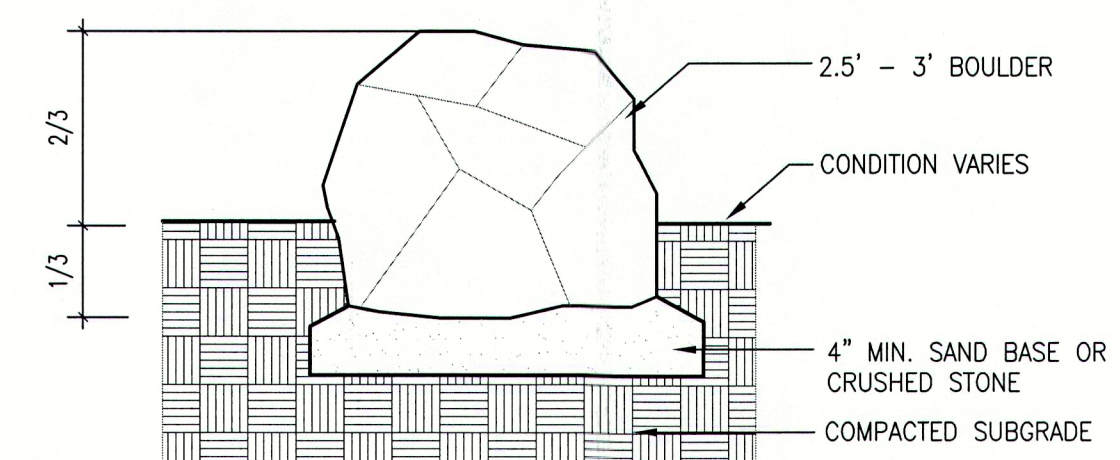
L9	PRECAST LIGHT POLE BASE
----	-------------------------

L15	DRIP EDGE WITH J DRAIN SECTION
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F9	PAVER SECTION
----	---------------

F15	CONCRETE UTILITY PAD
-----	----------------------



A9	NOT USED
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A15	BOULDER SECTION
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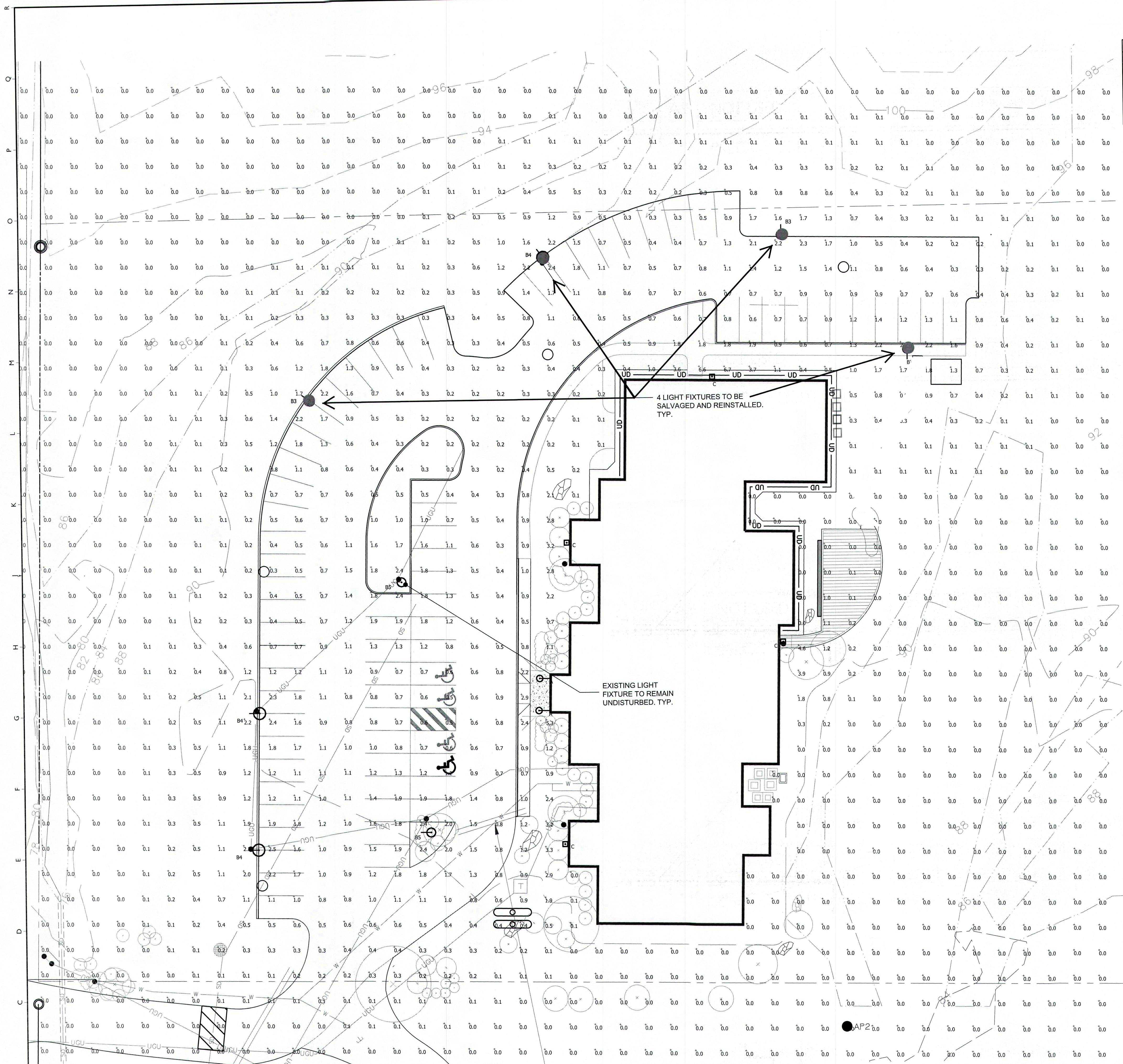
DATE:	3-31-15
PROJECT #	030214
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE	VARIES

SHEET TITLE

LANDSCAPE DETAILS

L202

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Luminaire Schedule							
Symbol	Qty	Label	Mounting Height	Total Lamp Lumens	Lum. Watts	LLF	Description
	2	A	9' - 0" AFG	5600	95	0.720	UCS-STR-50MH
	3	B3	20' - 0" AFG	12500	185	0.720	UCM-H3-FTG-150MH
	3	B4	20' - 0" AFG	12500	185	0.720	UCM-H4-FTG-150MH
	2	B5	20' - 0" AFG	12500	185	0.720	UCM-H5-FTG-150MH
	4	C	9' - 0" AFG	8800	100	0.720	WD14x3/100MH-ED17

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Area	Illuminance	Fc	0.30	6.7	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	0.94	2.5	0.2	4.70	12.50

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REVISIONS		
#	DATE	DESCRIPTION
A	2-19-15	60% DD SET
B	2-24-15	SITE PLAN

DATE:	2-24-15
PROJECT #:	030214
DRAWN BY:	KLD
CHECKED BY:	RS
DRAWING SCALE:	1" = 20'

SHEET TITLE

LIGHTING
PHOTOMETRIC PLAN

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