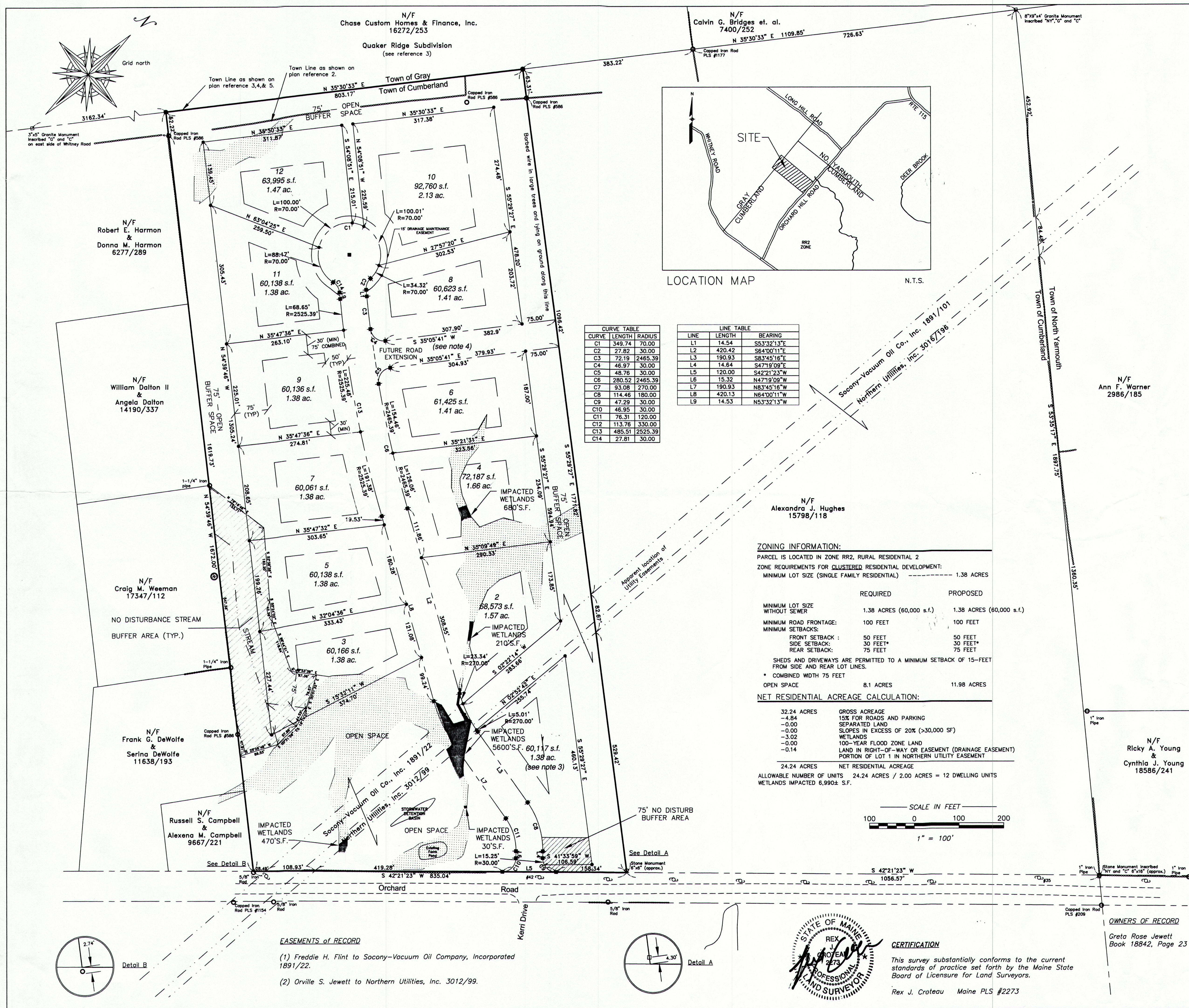
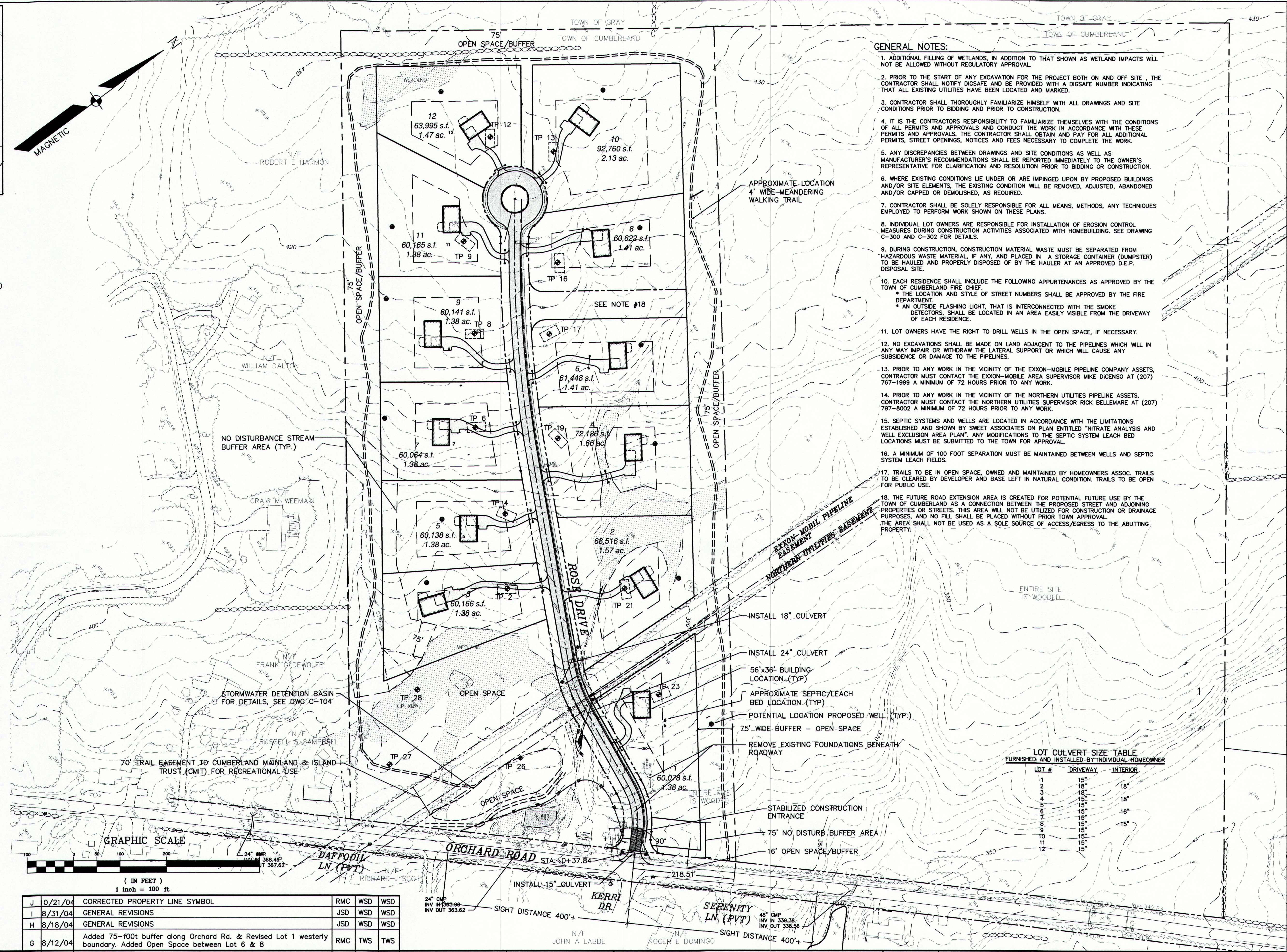

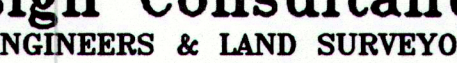


Final Plan Set

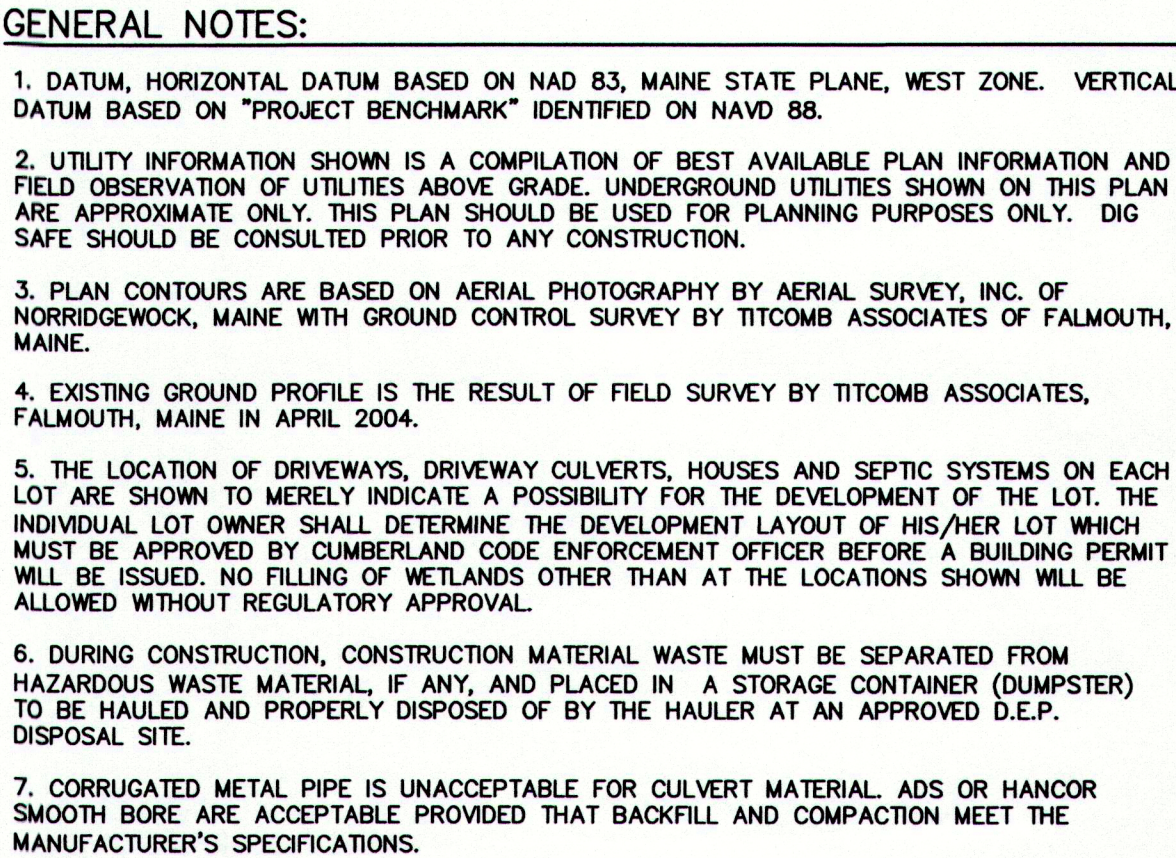




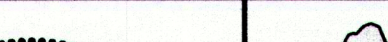



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.				F	7/27/04	REVISE AND SUBMIT TO TOWN FOR FINAL APPROVAL	AAH	TWS	TWS	  <b>SYTDesign Consultants</b> CIVIL ENGINEERS & LAND SURVEYORS P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021 Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com CLIENT: ORCHARD RIDGE, LLC 269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021	FIELD BOOK #	DESIGN: WSD	PROJECT: ORCHARD RIDGE SUBDIVISION ORCHARD ROAD, CUMBERLAND, MAINE	
		E	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD	FIELD BOOK PAGE	DRAWN: STAFF					
		D	7/15/04	REVISED AND REISSUED TO CCSWCD	AAH	WSD	WSD	FLAT FILE INDEX NUMBER	CHKD: WSD		SUBDIVISION PLAN			
		C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD	PROJECT DIR.	DATE: MAY 2004		PROJ. NO.	04-213.00	REV.	
		B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD	DRAWING NAME	SCALE: 1"=100'		DWG. NO.	C-101		
		A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD	04-21300-SK100						
NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS		BY	CHKD	APPD						

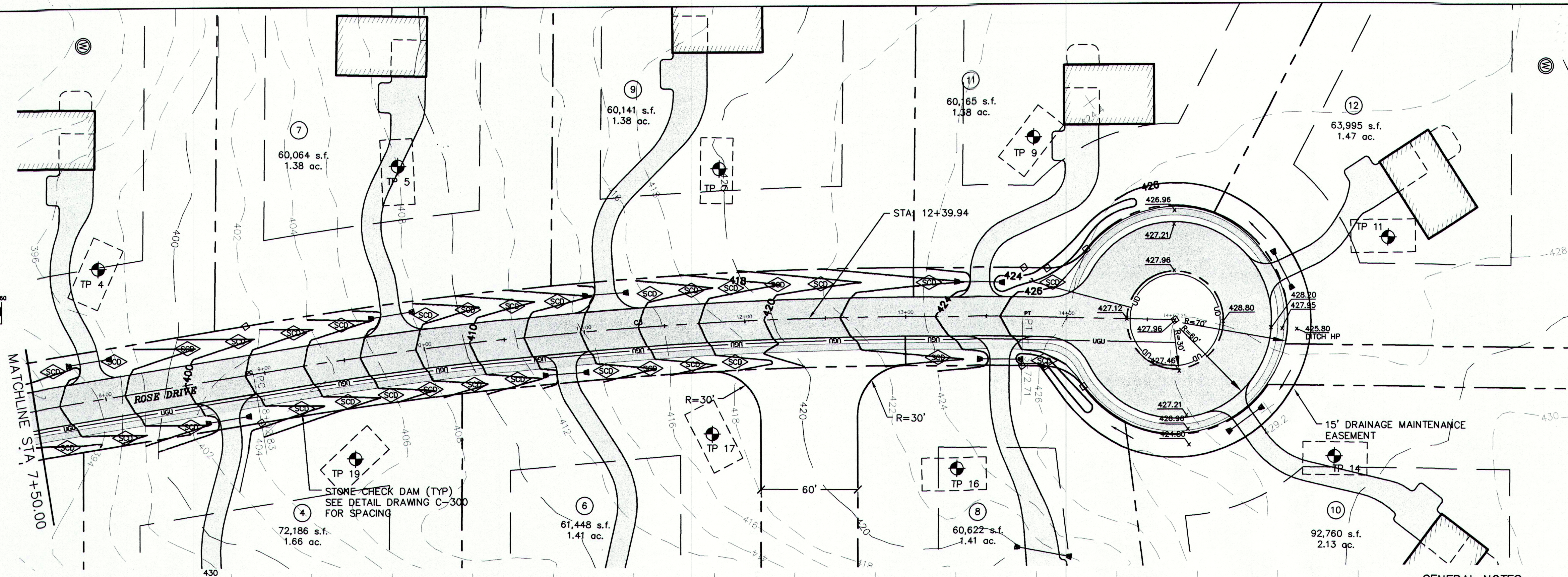
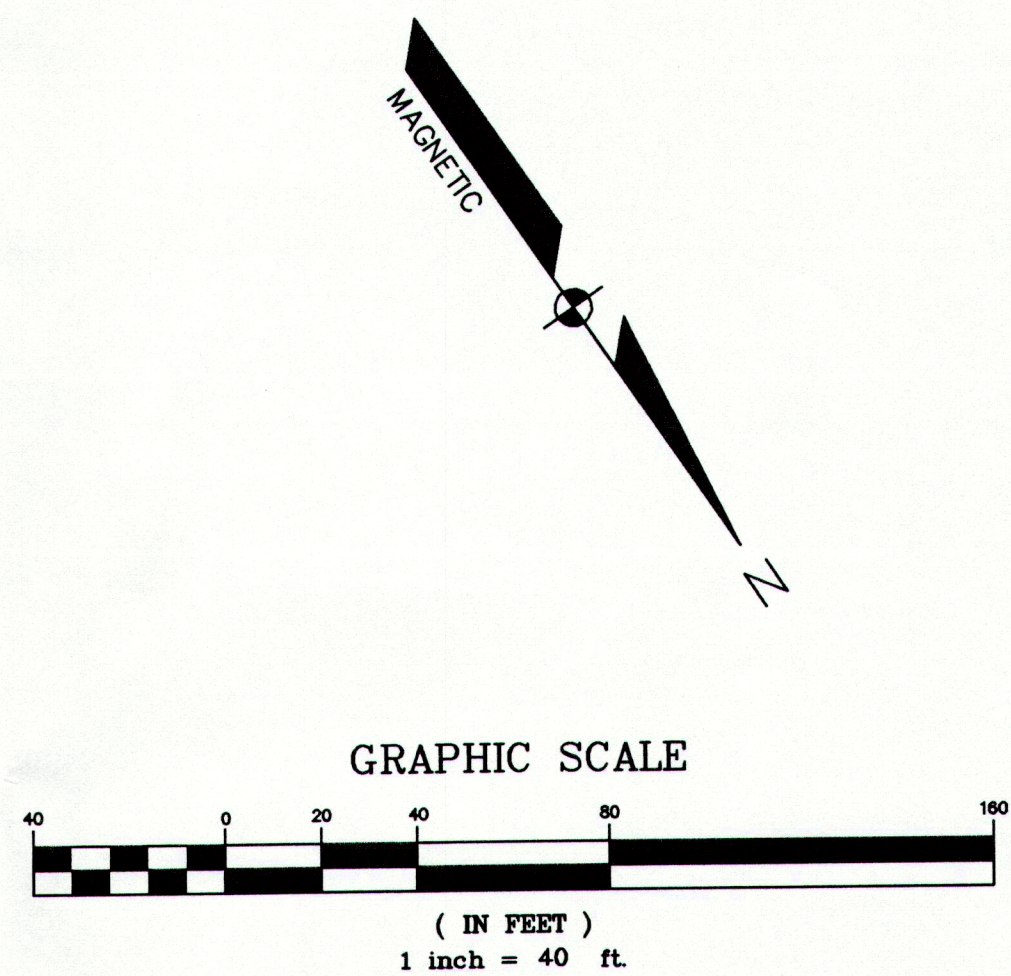




REV.	DATE	STATUS	BY	CHKD	APPD
I	9/16/04	REVISED SIGN SETBACK	PBB	WSD	WSD
H	9/13/04	REVISED CULVERT AT STA. 4+65	JSD	WSD	WSD
G	8/31/04	GENERAL REVISIONS	JSD	WSD	WSD
F	8/12/04	REVISED ROADWAY CONTOURS - STA 4+00 TO 4+75	AAH	WSD	WSD
E	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
D	6/15/04	REVISED AND REISSUED TO CCSWCD	AAH	WSD	WSD
C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.			F	8/12/04	REVISED ROADWAY CONTOURS - STA 4+00 TO 4+75	AAH	WSD	WSD		 <b>SYTDesign Consultants</b> CIVIL ENGINEERS & LAND SURVEYORS P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021 Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com	DESIGN: WSD	PROJECT: ORCHARD RIDGE SUBDIVISION ORCHARD ROAD, CUMBERLAND, MAINE		
			E	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD			DRAWN: STAFF			
			D	6/15/04	REVISED AND REISSUED TO CCSWCD	AAH	WSD	WSD			CHKD: WSD			
			C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD			<b>PLAN &amp; PROFILE</b> <b>STA 0+00 - 7+50.00</b>			
			B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD						
			A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD			DATE: MAY 2004	PROJ. NO.	04-213.00	
NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD	CLIENT: ORCHARD RIDGE, LLC 269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021	SCALE: AS NOTED	DWG. NO.	C-102			

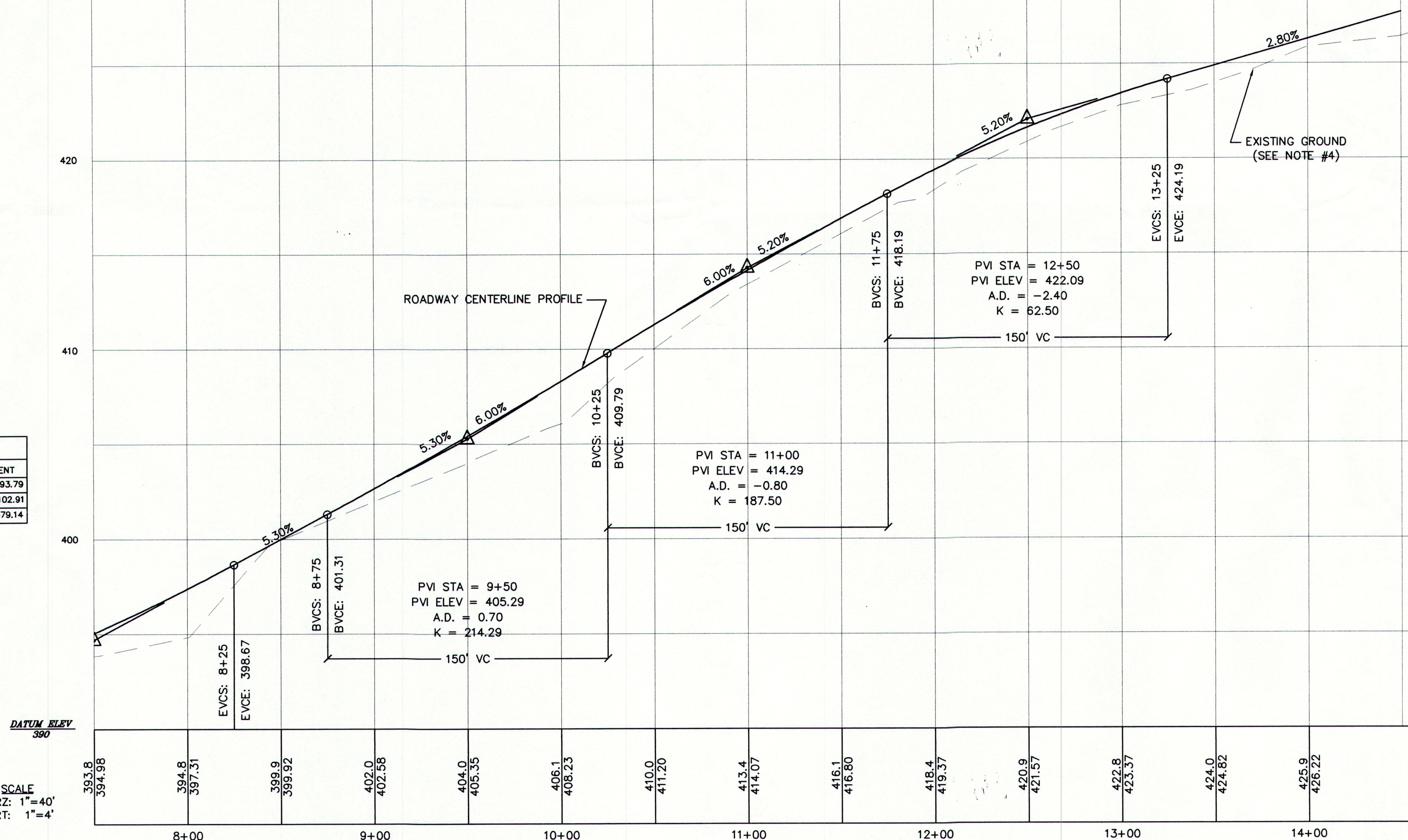




#### GENERAL NOTES:

- DATUM, HORIZONTAL DATUM BASED ON NAD 83, MAINE STATE PLANE, WEST ZONE. VERTICAL DATUM BASED ON "PROJECT BENCHMARK" IDENTIFIED ON NAVD 88.
- UTILITY INFORMATION SHOWN IS A COMPILATION OF BEST AVAILABLE PLAN INFORMATION AND FIELD OBSERVATION OF UTILITIES ABOVE GRADE. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THIS PLAN SHOULD BE USED FOR PLANNING PURPOSES ONLY. DIG SAFE SHOULD BE CONSULTED PRIOR TO ANY CONSTRUCTION.
- PLAN CONTOURS ARE BASED ON AERIAL PHOTOGRAPHY BY AERIAL SURVEY, INC. OF NORRIDGEWOCK, MAINE WITH GROUND CONTROL SURVEY BY TITCOMB ASSOCIATES OF FALMOUTH, MAINE.
- EXISTING GROUND PROFILE IS THE RESULT OF FIELD SURVEY BY TITCOMB ASSOCIATES, FALMOUTH, MAINE IN APRIL 2004.
- THE LOCATION OF DRIVEWAYS, DRIVEWAY CULVERTS, HOUSES AND SEPTIC SYSTEMS ON EACH LOT ARE SHOWN TO MERELY INDICATE A POSSIBILITY FOR THE DEVELOPMENT OF THE LOT. THE INDIVIDUAL LOT OWNER SHALL DETERMINE THE DEVELOPMENT LAYOUT OF HIS/HER LOT WHICH MUST BE APPROVED BY CUMBERLAND CODE ENFORCEMENT OFFICER BEFORE A BUILDING PERMIT WILL BE ISSUED. NO FILLING OF WETLANDS OTHER THAN AT THE LOCATIONS SHOWN WILL BE ALLOWED WITHOUT REGULATORY APPROVAL.
- DURING CONSTRUCTION, CONSTRUCTION MATERIAL WASTE MUST BE SEPARATED FROM HAZARDOUS WASTE MATERIAL, IF ANY, AND PLACED IN A STORAGE CONTAINER (DUMPSTER) TO BE HAULED AND PROPERLY DISPOSED OF BY THE HAULER AT AN APPROVED D.E.P. DISPOSAL SITE.
- CORRUGATED METAL PIPE IS UNACCEPTABLE FOR CULVERT MATERIAL. ADS, HANCOR OR SMOOTH BORE ARE ACCEPTABLE PROVIDED THAT BACKFILL AND COMPACTION MEET THE MANUFACTURER'S SPECIFICATIONS.

CURVE TABLE								
CURVE	PC STA	PT STA	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION	TANGENT
C1	0+82.82	1+78.21	95.39	150.00	36°28'06"	49.37	N65°32'12"W	93.79
C2	3+69.14	4+72.56	103.42	300.00	19°45'04"	52.23	S73°52'44"E	102.81
C3	8+92.83	13+72.71	479.87	2500.00	10°59'52"	240.68	S59°02'10"E	479.14

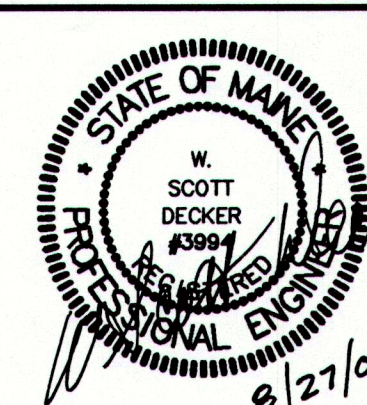


DATUM ELEV  
390

SCALE  
HORZ: 1"=40'  
VERT: 1"=4'

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.

NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
		E	8/31/04	GENERAL REVISIONS	JSD	WSD	WSD
		D	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
		C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD
		B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
		A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS  
P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-8994 Fax: (207) 829-2231 Email: info@sytdesign.com  
CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

DESIGN: CYN	PROJECT: ORCHARD RIDGE SUBDIVISION ORCHARD ROAD, CUMBERLAND, MAINE
DRAWN: CYN	
CHKD: WSD	
DATE: MAY 2004	PROJ. NO. 04-213.00
SCALE: AS NOTED	DWG. NO. C-103

REV. E



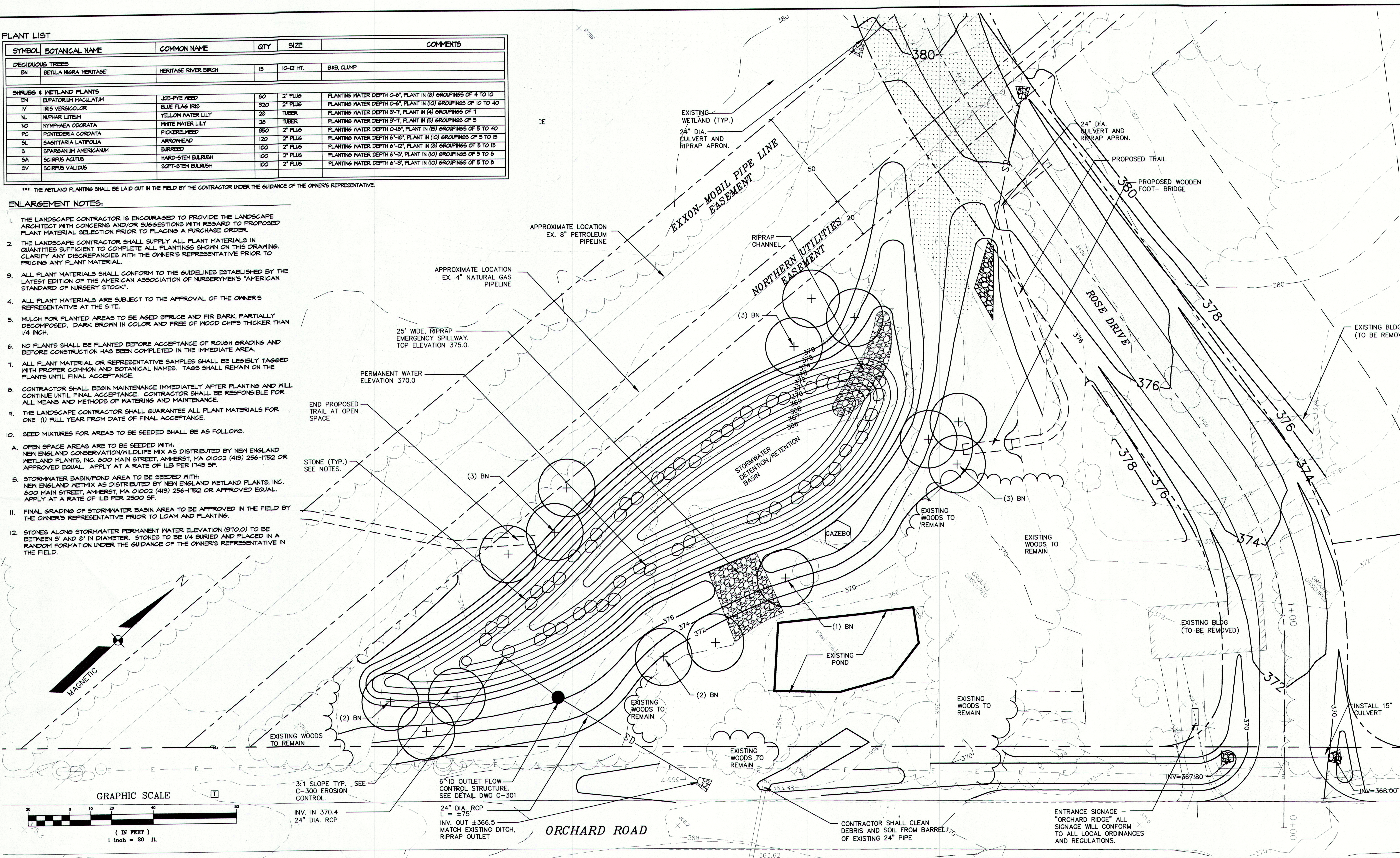
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
BN	BETULA NIGRA HERITAGE	HERITAGE RIVER BIRCH	15	10-12' HT.	B&B, CLUMP
<b>SHRUBS &amp; WETLAND PLANTS</b>					
EM	EUPATORIUM MACULATUM	JOE-PYE WEED	80	2" PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (8) GROUPINGS OF 4 TO 10
IV	IRIS VERSICOLOR	BLUE FLAG IRIS	320	2" PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (10) GROUPINGS OF 10 TO 40
NL	NIPHAR LUTEUM	YELLOW WATER LILY	20	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (4) GROUPINGS OF 1
NO	NYMPHAEA ODORATA	WHITE WATER LILY	20	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (5) GROUPINGS OF 5
PC	PONTERDIA CORDATA	PICKERELWEED	350	2" PLUG	PLANTING WATER DEPTH 0'-10", PLANT IN (15) GROUPINGS OF 5 TO 40
SL	SAGITTARIA LATIFOLIA	ARROWHEAD	120	2" PLUG	PLANTING WATER DEPTH 6'-10", PLANT IN (10) GROUPINGS OF 5 TO 15
S	SPARGANUM AMERICANUM	BURREED	100	2" PLUG	PLANTING WATER DEPTH 6'-12", PLANT IN (6) GROUPINGS OF 5 TO 15
SA	SCIRPUS ACUTUS	HARD-STEM BULRUSH	100	2" PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8
SV	SCIRPUS VALIDUS	SOFT-STEM BULRUSH	100	2" PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8

\*\*\* THE WETLAND PLANTING SHALL BE LAID OUT IN THE FIELD BY THE CONTRACTOR UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE.

ENLARGEMENT NOTES:

- THE LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARD TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE OWNER'S REPRESENTATIVE PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE.
- MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SEED MIXTURES FOR AREAS TO BE SEEDDED SHALL BE AS FOLLOWS:
  - OPEN SPACE AREAS ARE TO BE SEEDDED WITH: NEW ENGLAND CONSERVATION/WILDLIFE MIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 1745 SF.
  - STORMWATER BASIN/POND AREA TO BE SEEDDED WITH: NEW ENGLAND WETMIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 2500 SF.
- FINAL GRADING OF STORMWATER BASIN AREA TO BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE PRIOR TO LOAM AND PLANTING.
- STONES ALONG STORMWATER PERMANENT WATER ELEVATION (370.0) TO BE BETWEEN 3' AND 8' IN DIAMETER. STONES TO BE 1/4 BURIED AND PLACED IN A RANDOM FORMATION UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE IN THE FIELD.



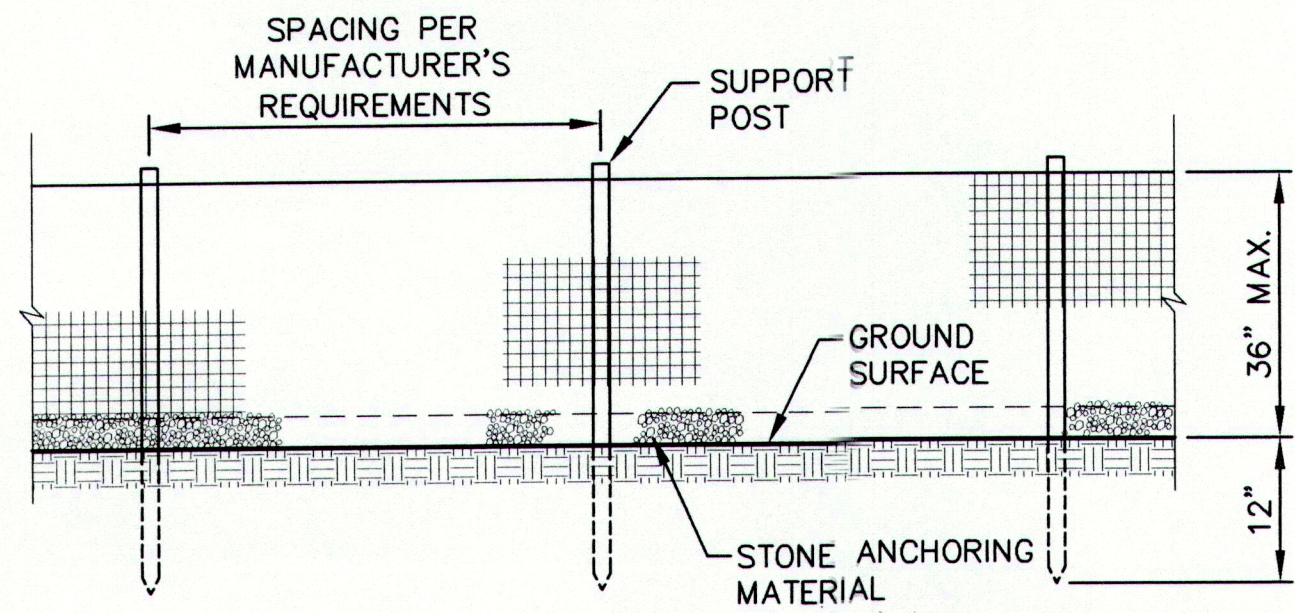
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.															



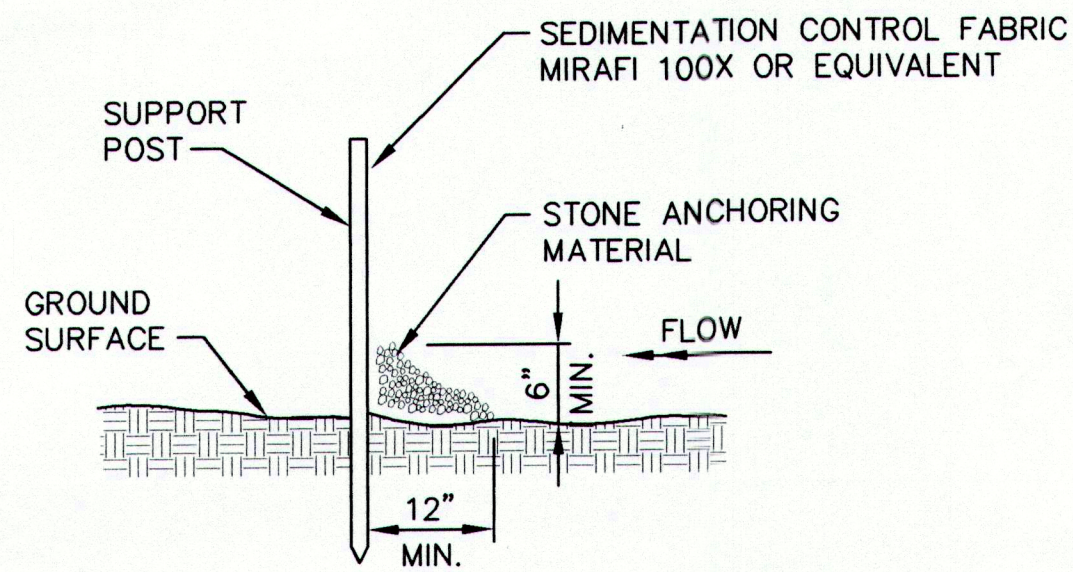




P:\2004\PROJECTS\04-21300.dwg(0421300-C300.dwg, 7/22/2004 10:16:31 AM, Designer: 1050C (24X36).pc3

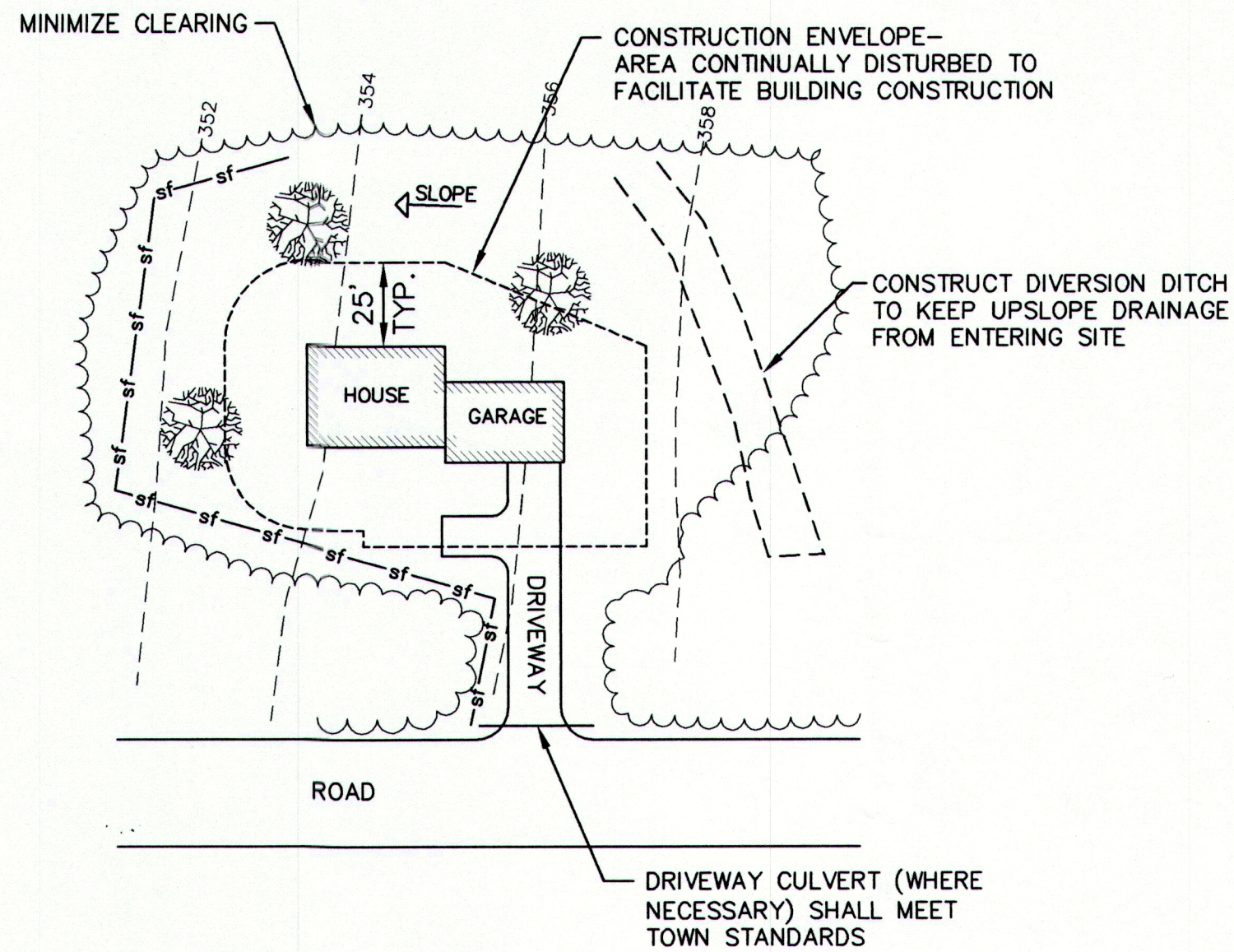


ELEVATION



SECTION

SILTATION FENCE  
"STONE FILLET" SECTION  
N.T.S.



NOTES:

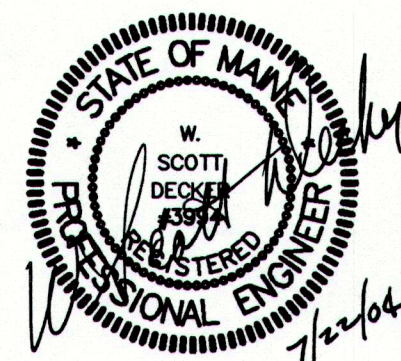
1. MULCH ALL AREAS OUTSIDE 25' ENVELOPE WITHIN 7 DAYS OF FOUNDATION BACKFILL REGARDLESS OF FINAL OR ROUGH GRADING.
2. THIS SKETCH INDICATES THE INTENT OF THE SOIL EROSION MEASURES. ACTUAL SITE CONDITIONS WILL VARY FROM SITE TO SITE.
3. BUILDING CONTRACTORS SHALL COMPLY WITH THE EROSION CONTROL NOTES SHOWN ON THESE DRAWINGS AND WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES."

TYPICAL BUILDING SITE EROSION CONTROL PLAN  
N.T.S.

CONSTRUCTION SEQUENCE

1. INSTALL TEMPORARY EROSION CONTROL MEASURES IN THE VICINITY OF THE SITE ENTRANCE AREA AND PROPOSED POND INCLUDING A STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE @ LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE
2. CUT TREES AND CLEAR SITE WITHIN CONSTRUCTION AREA.
3. INSPECT AND REPAIR, AS NECESSARY, EXISTING TEMPORARY EROSION CONTROL MEASURES.
4. INSTALL ADDITIONAL EROSION CONTROL MEASURES NECESSARY FOR WORK AS DEPICTED ON PLANS.
5. COMPLETE CLEARING AND GRUBBING OF SITE, STOCKPILING OF TOPSOIL.
6. CONSTRUCT DETENTION POND
7. CONSTRUCT ROAD AND INSTALL CULVERTS
8. INSTALL OTHER PROJECT APPURTENANCES
9. PLACE LOAM SEED & MULCH, AS AREAS ARE COMPLETED
10. FOLLOWING THE ESTABLISHMENT OF GRASS, REMOVE TEMPORARY EROSION CONTROL MEASURES

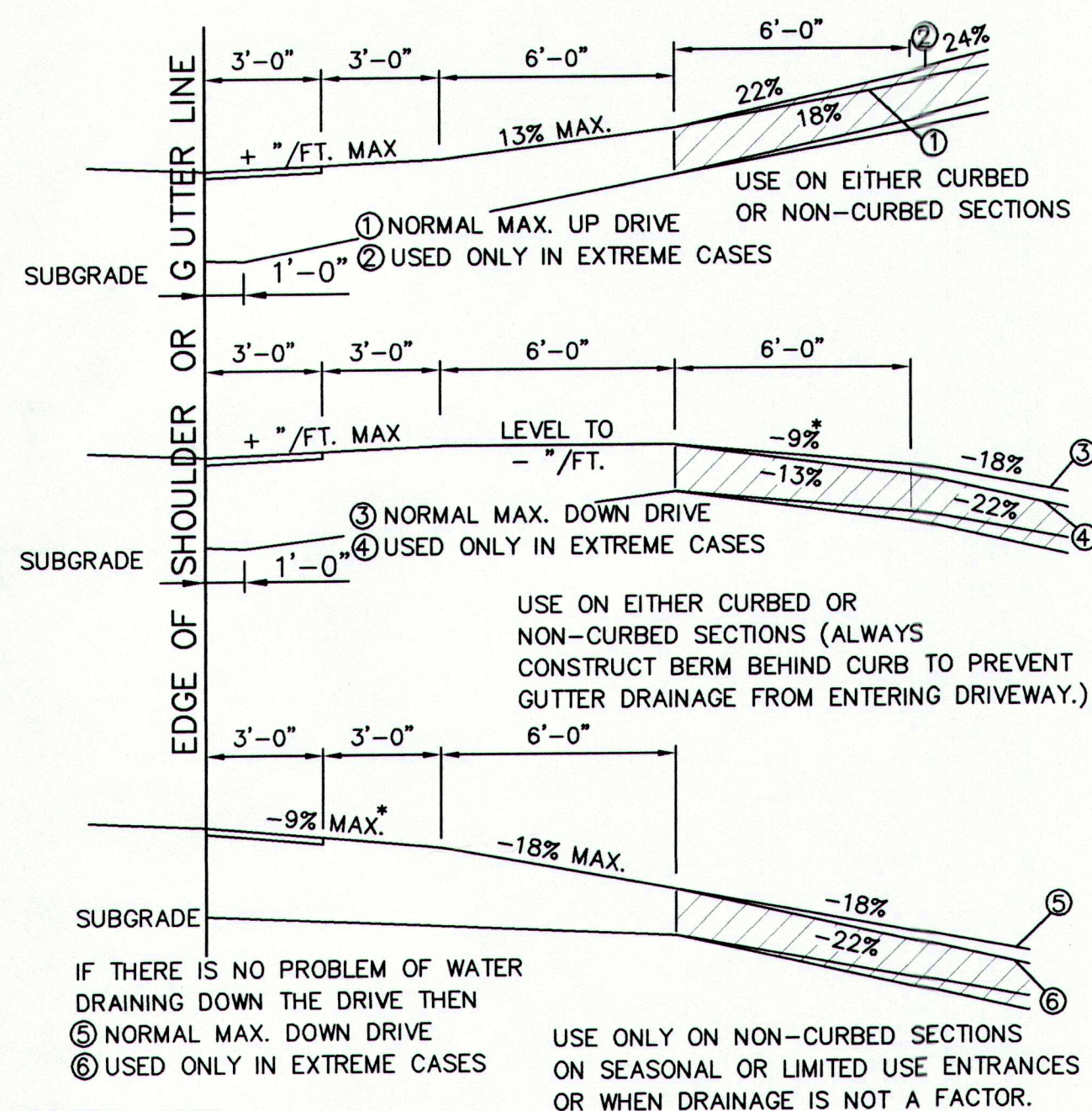
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.					
NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY
		B	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH WSD WSD
		A	6/29/04	ISSUED TO TOWN AND DEP	JSD WSD WSD



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS  
P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com  
CLIENT: ORCHARD RIDGE, LLC  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: CYN	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: CYN	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	EROSION AND SEDIMENTATION CONTROL
PROJECT DIR.	DATE: MAY 2004	NOTES & DETAILS - SHEET 2 OF 2
DRAWING NAME	SCALE: AS NOTED	PROJ. NO. 04-213.00
04-21300-SK100		DWG. NO. C-301
		REV. B





**GENERAL NOTES:**

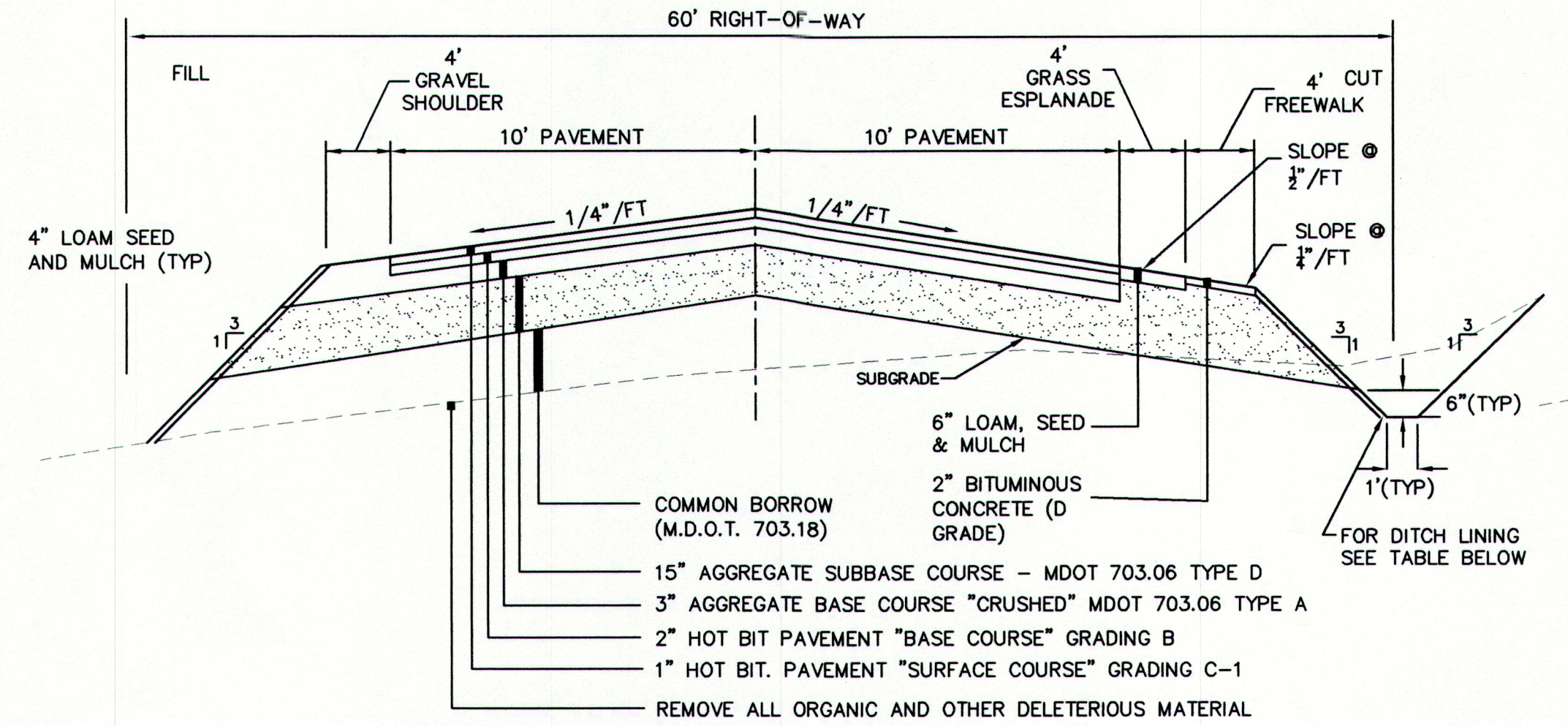
- THE FIRST 3' SHOWN AS PAVEMENT SHOULD BE PAVED ONLY WHEN ABUTTING A PAVED AREA.
- ALL RESIDENTIAL DRIVES 10% AND OVER SHOULD BE PAVED.

**NOTES ON MAXIMUM DRIVEWAY PROFILES:**

- THESE PROFILES ARE A GUIDE FOR THE MAJORITY OF CASES, BUT SHOULD BE FIELD CHECKED WHEN THE MAIN LINE GRADE IS STEEP (4% TO 6% OR GREATER) OR THE ANGLE OF APPROACH TO THE DRIVE IS UNUSUAL.
- GENERALLY THE MAJORITY OF DRIVES ON A PROJECT WILL BE BUILT WITH FLATTER PROFILES THAN THESE MAXIMUM CASES.
- WHEN GRADING DRIVES WHICH ARE FLATTER THAN THE MAXIMUM PROFILES THE FOLLOWING RULE OF THUMB SHOULD BE USED: DO NOT EXCEED A GRADE % CHANGE OF MORE THAN 9% IN A 6 FOOT INCREMENT OF DRIVEWAY LENGTH. THIS APPLIES TO BOTH UP AND DOWN PROFILES.

### DRIVE SLOPES

N.T.S.



### TYPICAL SECTION SUBDIVISION ACCESS ROAD

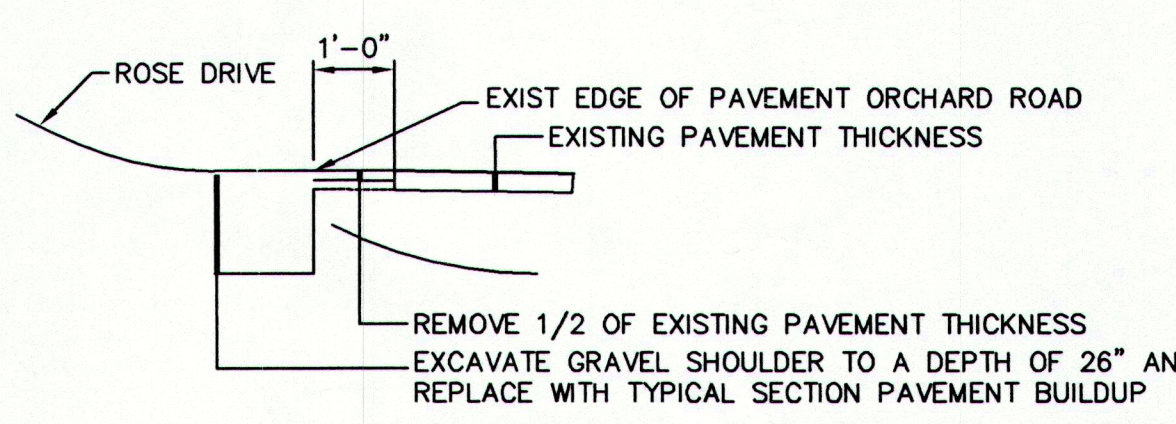
**NOTES:**

DITCH LININGS SHALL BE PROVIDED TO PROTECT THE SIDE AND SLOPES AND BOTTOM FROM EROSION AND SCOUR. MINIMUM CHANNEL LININGS FOR CORRESPONDING LONGITUDINAL SLOPES SHALL CONFORM TO THE FOLLOWING TABLE:

SLOPE	LOAM AND SEED	STONE RIPRAP
0-3%	LOAM AND SEED	
3-5%	LOAM AND SEED, PROTECTED BY EROSION CONTROL TEMPORARY USE BLANKET	
OVER 5%		STONE RIPRAP

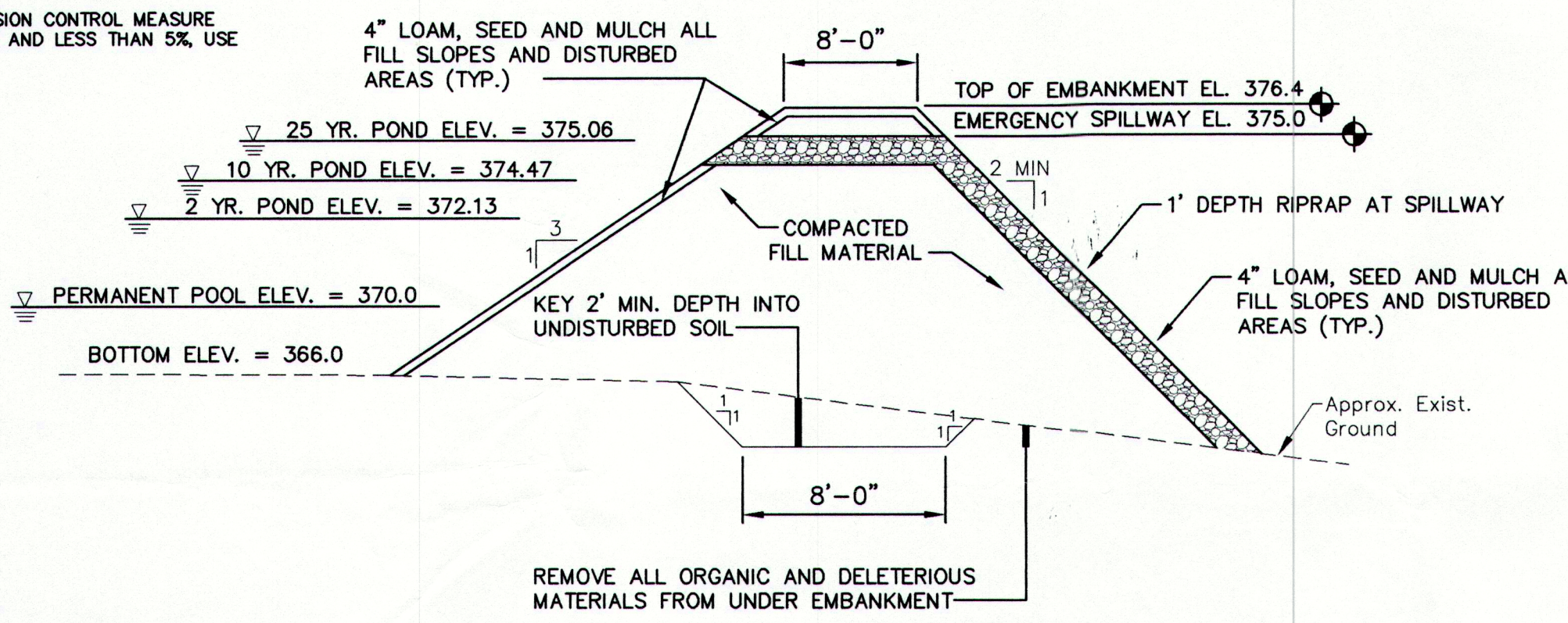
EROSION CONTROL MESH SHALL BE BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

- AS A TEMPORARY EROSION CONTROL MEASURE, WHERE CHANNEL SLOPE IS LESS THAN 3% USE S-150 WITH STAPLE D.
- AS A TEMPORARY AND PERMANENT EROSION CONTROL MEASURE ON CHANNEL SLOPES GREATER THAN 3% AND LESS THAN 5% USE C-350, WITH STAPLE E.



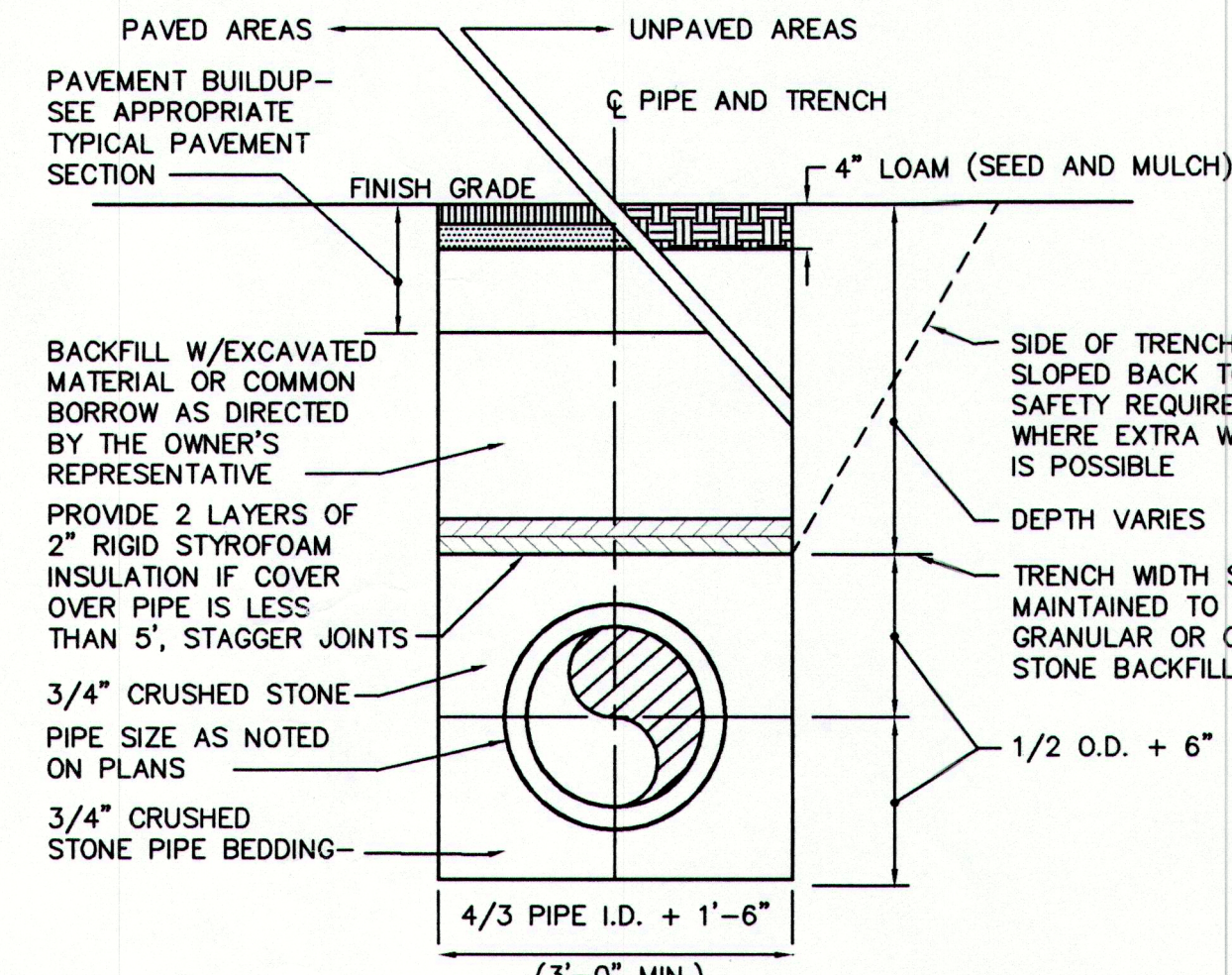
### ORCHARD HILL ROAD INTERSECTION DETAIL

N.T.S.



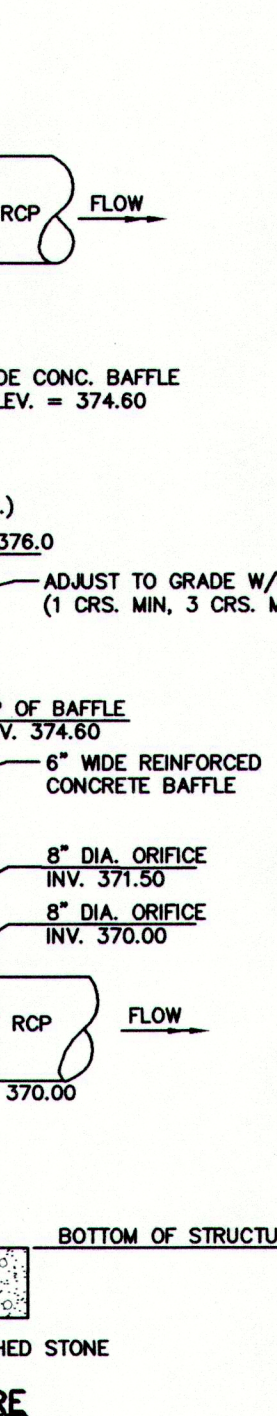
### DETENTION POND EMBANKMENT

N.T.S.



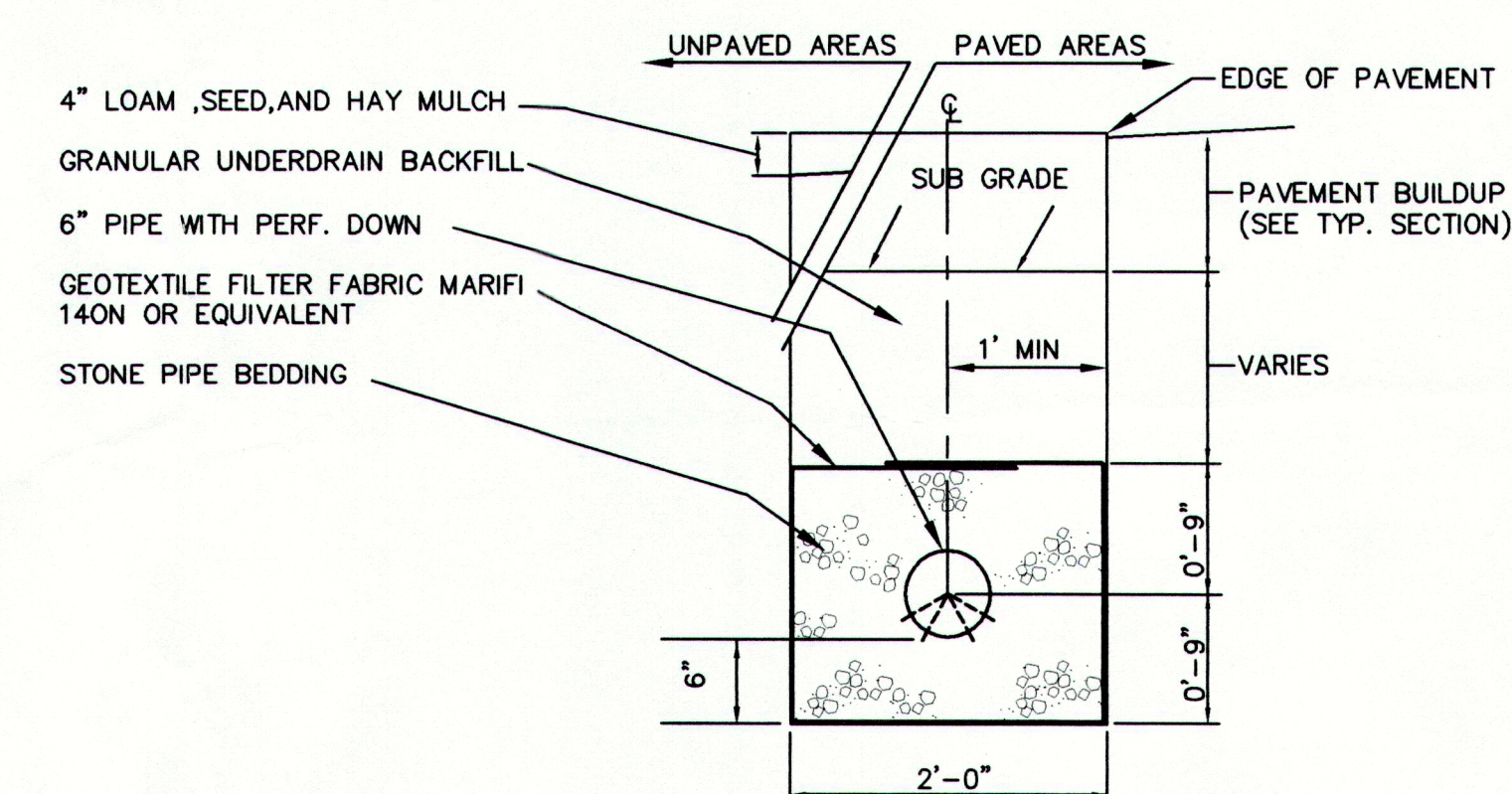
### TYPICAL TRENCH SECTION

N.T.S.



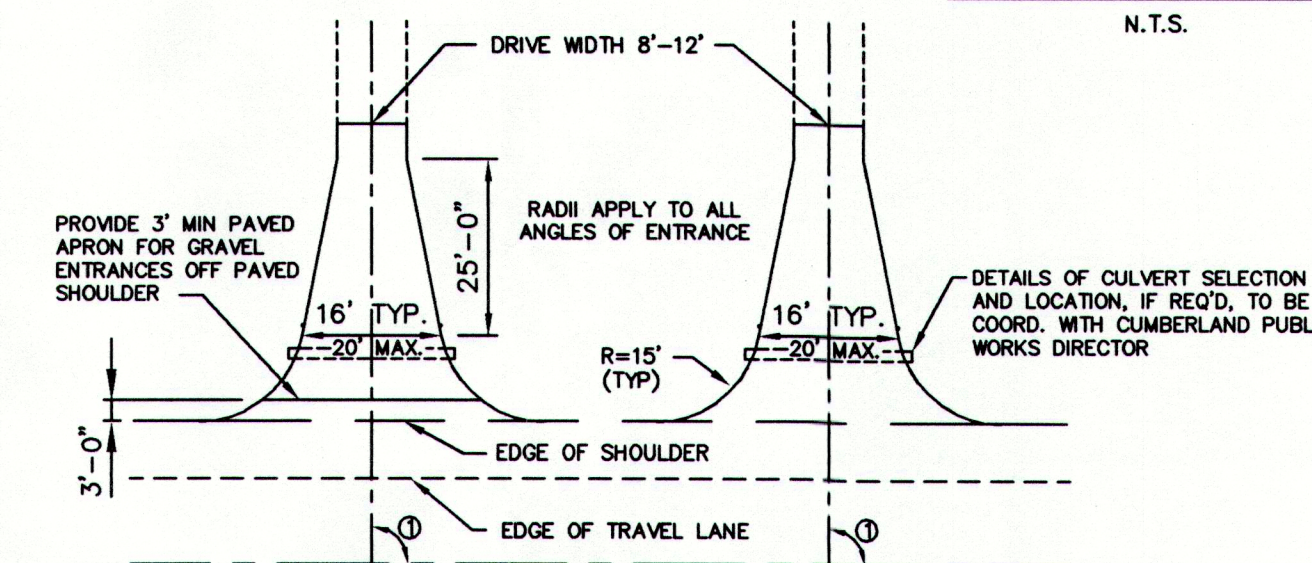
### FLOW CONTROL STRUCTURE

N.T.S.



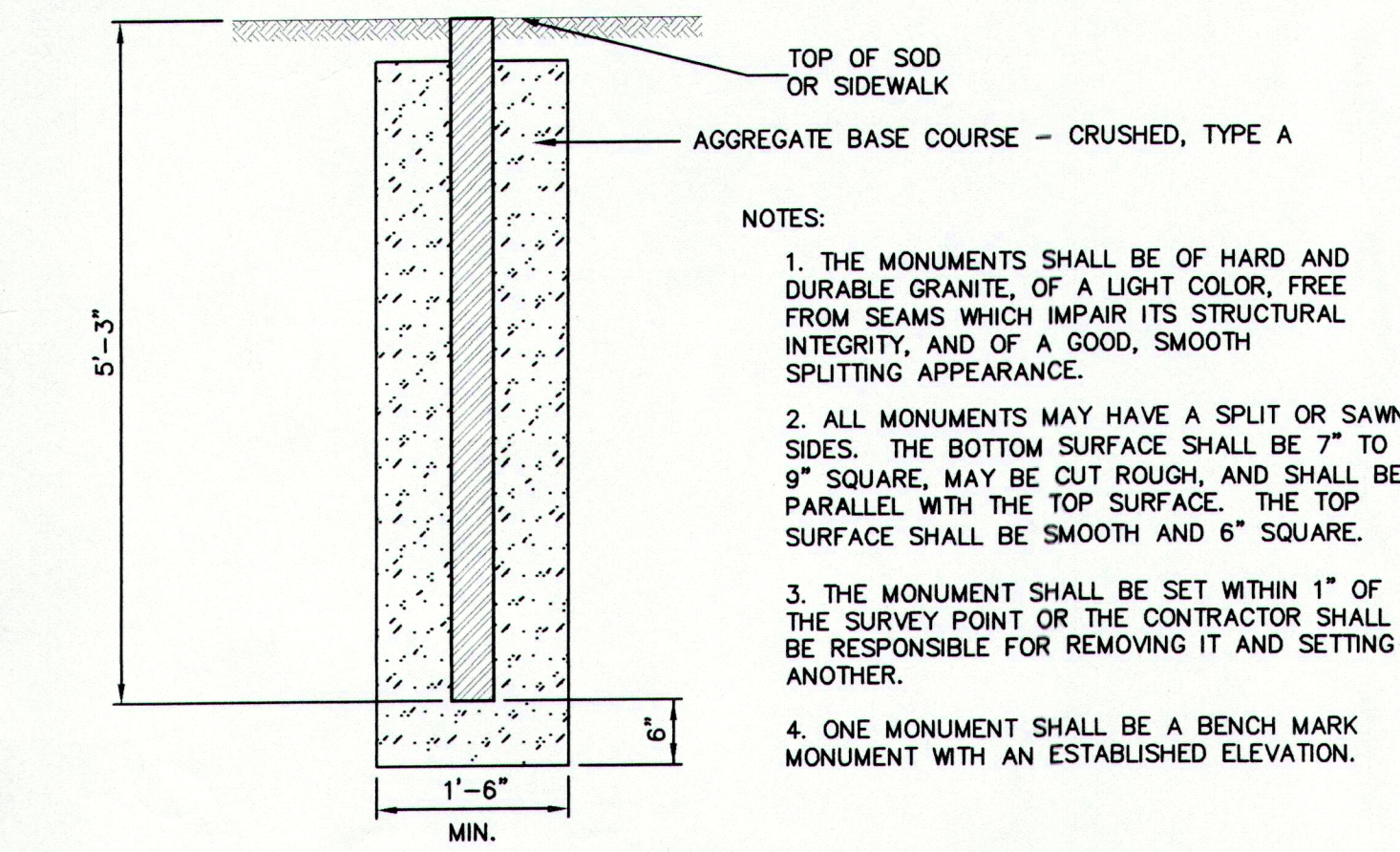
### UNDERDRAIN TRENCH TYPE "B"

N.T.S.



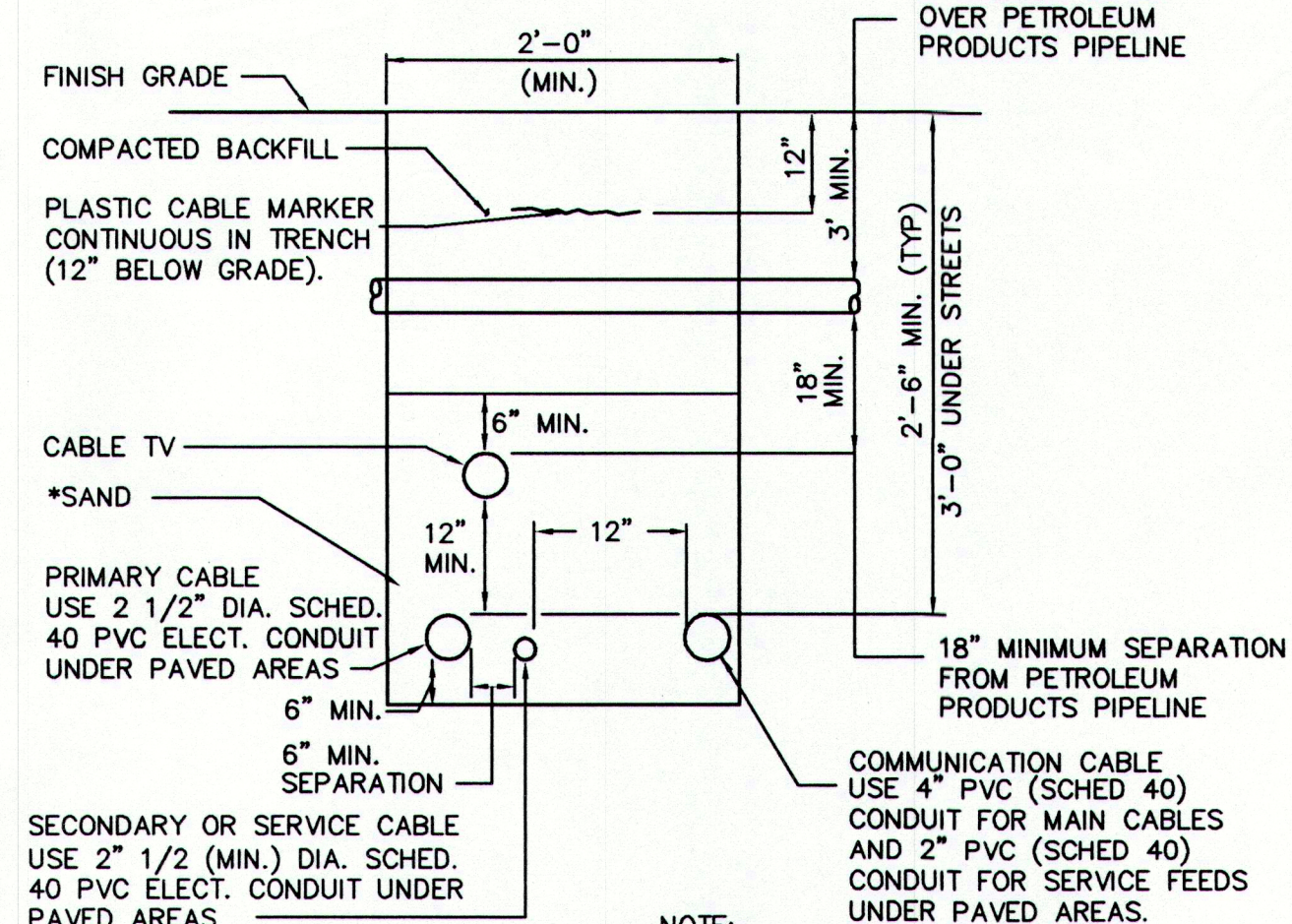
### RESIDENTIAL ENTRANCE

N. T. S.



### GRANITE STREET MONUMENT

N.T.S.



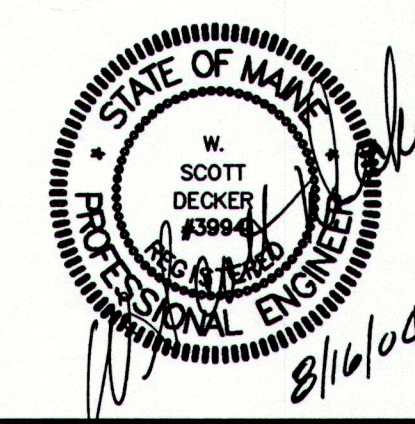
### UNDERGROUND UTILITY CONDUIT DETAIL

N.T.S.

\* WITHIN THE EXXON-MOBILE PIPELINE RIGHT-OF-WAY SAND SHALL BE REPLACED WITH RED DYE CONCRETE.

H	8/12/04	REVISED ELEVATIONS OF DETENTION POND EMBANKMENT	AAH	TWS	TWS
G	7/27/04	REVISED AND SUBMITTED TO TOWN FOR FINAL APPROVAL	AAH	TWS	TWS
F	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
E	7/12/04	REVISED DWG # AND REISSUED TO CCSWD	AAH	WSD	WSD
D	5/29/04	REVISED AND REISSUED TO TOWN	JSD	WSD	WSD
C	5/27/04	GENERAL REVISIONS TO STORMWATER DETAILS	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING			
NO.	REV.	DATE	STATUS	BY	CHKD APPD

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.



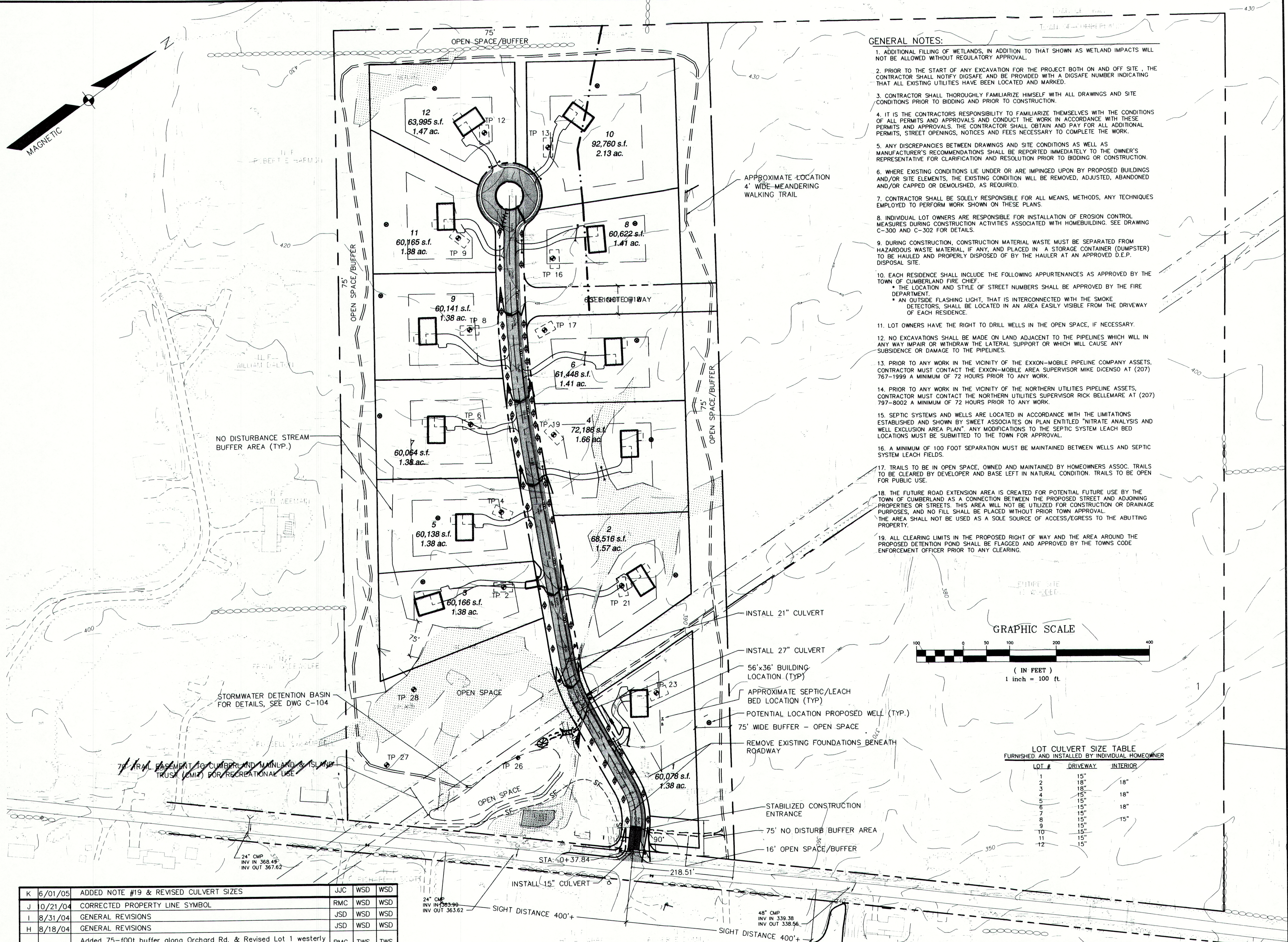
**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: ORCHARD RIDGE, LLC  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: STAFF	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	CIVIL DETAILS AND SECTIONS
PROJECT DIR.	DATE: MAY 2004	1 OF 1
DRAWING NAME	SCALE: AS NOTED	PROJ. NO. 04-213.00
04-21300-C300		DWG. NO. C-302





## ZONING INFORMATION:

**ZONING INFORMATION:**

PARCEL IS LOCATED IN ZONE RR2, RURAL RESIDENTIAL 2

ZONE REQUIREMENTS FOR CLUSTERED RESIDENTIAL DEVELOPMENT:  
MINIMUM LOT SIZE (SINGLE FAMILY RESIDENTIAL) ----- 1.38 ACRES

	REQUIRED	PROPOSED
MINIMUM LOT SIZE WITHOUT SEWER	1.38 ACRES (60,000 s.f.)	1.38 ACRES (60,000 s.f.)
MINIMUM ROAD FRONTAGE:	100 FEET	100 FEET
MINIMUM SETBACKS:		
FRONT SETBACK :	50 FEET	50 FEET
SIDE SETBACK:	30 FEET*	30 FEET*
REAR SETBACK:	75 FEET	75 FEET

SHEDS AND DRIVEWAYS ARE PERMITTED TO A MINIMUM SETBACK OF 15- FEET FROM SIDE AND REAR LOT LINES.

- COMBINED WIDTH 75 FEET

OPEN SPACE	8.1 ACRES	11.98 ACRES
------------	-----------	-------------

## PLAN REFERENCES

1. TOWN LINE AND ORCHARD ROAD RECORDS PROVIDED BY THE TOWN OF CUMBERLAND.
2. PLAN OF PROPERTY MAD FOR ORVILLE S. JEWETT BY SURVEY, INC. DATED OCTOBER, 1986.
3. PLAN OF QUAKER RIDGE SUBDIVISION MADE BY PINKHAM AND GREER DATED AUGUST 30, 2001, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 202, PAGE 654.
4. BOUNDARY SURVEY MADE FOR CECIL A. DOUGHTY AND LOUISE J. DOUGHTY BY ROYAL RIVER SURVEY COMPANY DATED JUNE 9, 2003.
5. BOUNDARY SURVEY MADE FOR ALEXANDRA HUGHES BY TITOMB ASSOCIATES DATED

TOPOGRAPHIC SURVEY BASED ON AERIAL PHOTOGRAPHY BY AERIAL & PHOTO INC. OF NORRIDGEWOCK, MAINE.

NET RESIDENTIAL ACREAGE CALCULATION:

32.24 ACRES	GROSS ACREAGE
-4.84	15% FOR ROADS AND PARKING
-0.00	SEPARATED LAND
-0.00	SLOPES IN EXCESS OF 20% (>30,000 SF)
-3.02	WETLANDS
-0.00	100-YEAR FLOOD ZONE LAND
-0.14	LAND IN RIGHT-OF-WAY OR EASEMENTS (DRAINAGE EASEMENT PORTION OF LOT 1 ON NORTHEAST QUADITY EASEMENT


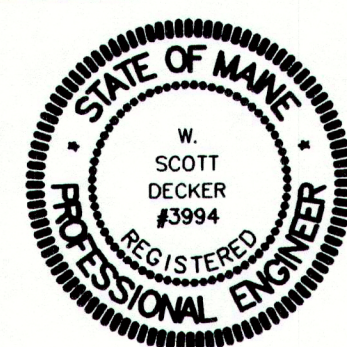
24.24 ACRES	NET RESIDENTIAL ACREAGE
-------------	-------------------------

ALLOWABLE NUMBER OF UNITS 24.24 ACRES / 2.00 ACRES = 12 DWELLING UNITS

### LEGEND

[illegible]

K	6/01/05	ADDED NOTE #19 & REVISED CULVERT SIZES	JJC	WSD	WSD
J	0/21/04	CORRECTED PROPERTY LINE SYMBOL	RMC	WSD	WSD
I	8/31/04	GENERAL REVISIONS	JSD	WSD	WSD
H	8/18/04	GENERAL REVISIONS	JSD	WSD	WSD
G	8/12/04	Added 75'-foot buffer along Orchard Rd. & Revised Lot 1 westerly boundary. Added Open Space between Lot 6 & 8	RMC	TWS	TWS
F	7/27/04	REVISE AND SUBMIT TO TOWN FOR FINAL APPROVAL	AAH	TWS	TWS
E	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
D	7/15/04	REVISED AND REISSUED TO CCSWCD	AAH	WSD	WSD
C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD
REV.	DATE	STATUS	BY	CHKD	APPR



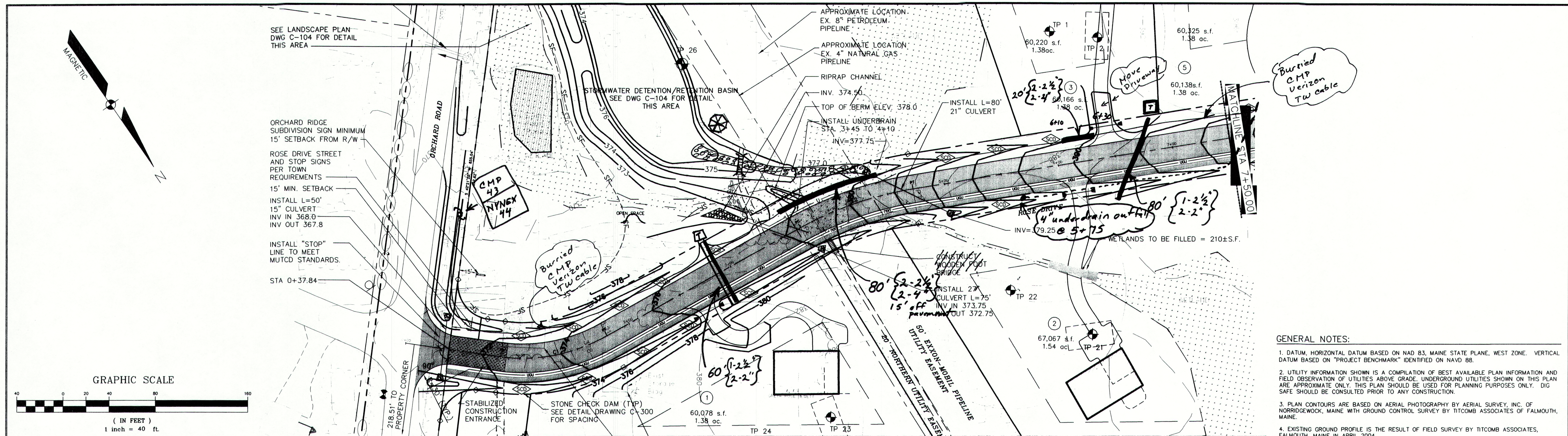
**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 929-6894, Fax: (207) 829-2231, Email: [info@sytdesign.com](mailto:info@sytdesign.com)

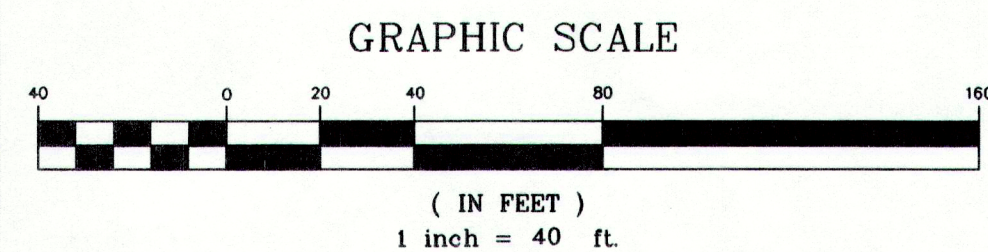
CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD	PROJECT: <b>ORCHARD RIDGE SUBDIVISION</b> ORCHARD ROAD, CUMBERLAND, MAINE
FIELD BOOK PAGE	DRAWN: STAFF	
FLAT FILE INDEX NUMBER	CHKD: WSD	
		<b>SUBDIVISION PLAN</b>
PROJECT DIR.	DATE: MAY 2004	PROJ. NO. 04-213.00
DRAWING NAME 04-21300-SK100	SCALE: 1"=100'	DWG. NO. C-101
		REV. J

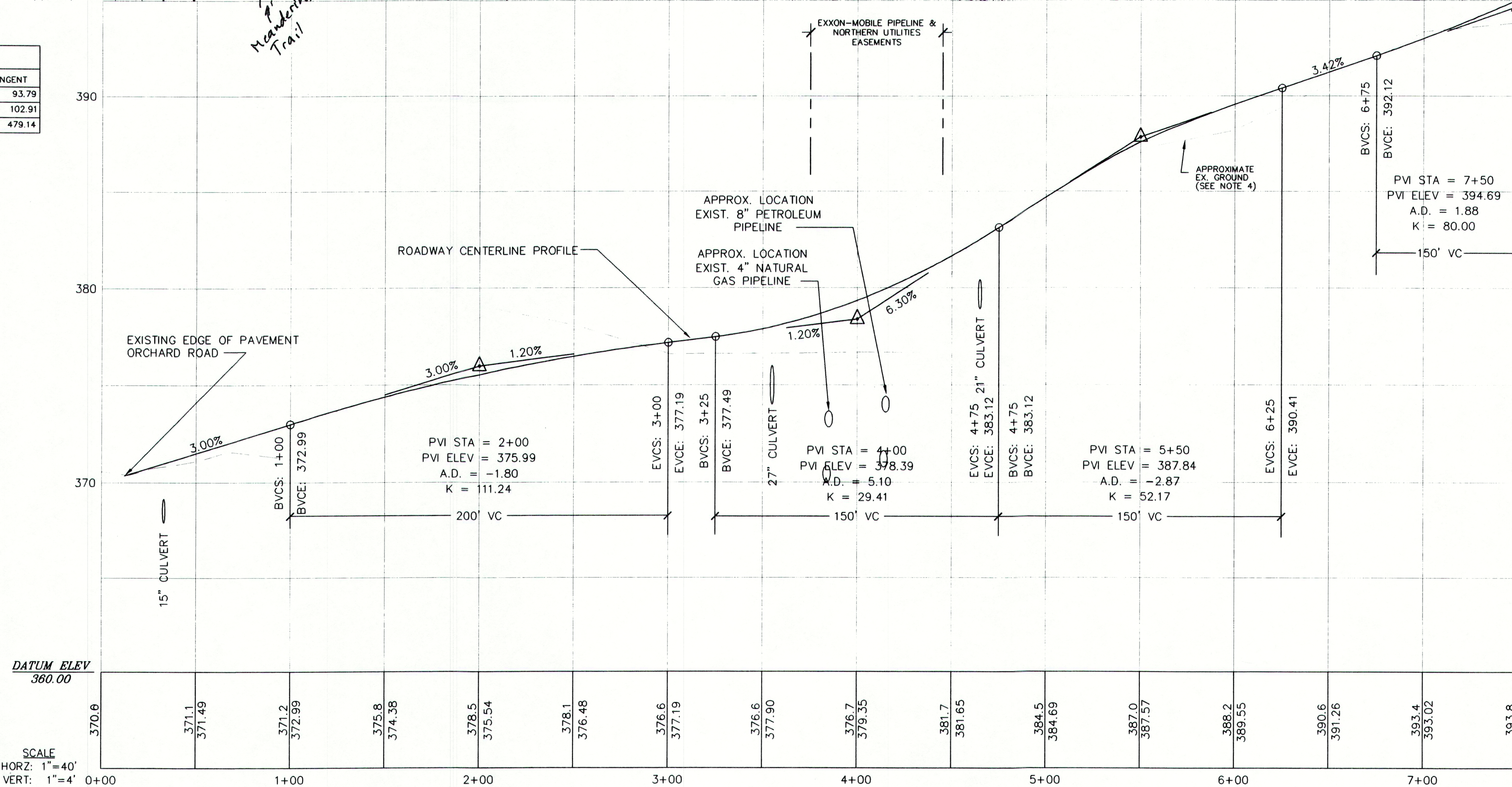




- GENERAL NOTES:
- DATUM, HORIZONTAL DATUM BASED ON NAD 83, MAINE STATE PLANE, WEST ZONE. VERTICAL DATUM BASED ON "PROJECT BENCHMARK" IDENTIFIED ON NAVD 88.
  - UTILITY INFORMATION SHOWN IS A COMPILATION OF BEST AVAILABLE PLAN INFORMATION AND FIELD OBSERVATION OF UTILITIES ABOVE GRADE. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THIS PLAN SHOULD BE USED FOR PLANNING PURPOSES ONLY. DIG SAFE SHOULD BE CONSULTED PRIOR TO ANY CONSTRUCTION.
  - PLAN CONTOURS ARE BASED ON AERIAL PHOTOGRAPHY BY AERIAL SURVEY, INC. OF NORRIDGEWOOD, MAINE WITH GROUND CONTROL SURVEY BY TITCOMB ASSOCIATES OF FALMOUTH, MAINE.
  - EXISTING GROUND PROFILE IS THE RESULT OF FIELD SURVEY BY TITCOMB ASSOCIATES, FALMOUTH, MAINE IN APRIL 2004.
  - THE LOCATION OF DRIVEWAYS, DRIVEWAY CULVERTS, HOUSES AND SEPTIC SYSTEMS ON EACH LOT ARE SHOWN TO MERELY INDICATE A POSSIBILITY FOR THE DEVELOPMENT OF THE LOT. THE INDIVIDUAL LOT OWNER SHALL DETERMINE THE DEVELOPMENT LAYOUT OF HIS/HER LOT WHICH MUST BE APPROVED BY CUMBERLAND CODE ENFORCEMENT OFFICER BEFORE A BUILDING PERMIT WILL BE ISSUED. NO FILLING OF WETLANDS OTHER THAN AT THE LOCATIONS SHOWN WILL BE ALLOWED WITHOUT REGULATORY APPROVAL.
  - DURING CONSTRUCTION, CONSTRUCTION MATERIAL WASTE MUST BE SEPARATED FROM HAZARDOUS WASTE MATERIAL, IF ANY, AND PLACED IN A STORAGE CONTAINER (DUMPSTER) TO BE HAULED AND PROPERLY DISPOSED OF BY THE HAULER AT AN APPROVED D.E.P. DISPOSAL SITE.
  - CORRUGATED METAL PIPE IS UNACCEPTABLE FOR CULVERT MATERIAL. ADS OR HANCOR SMOOTH BORE ARE ACCEPTABLE PROVIDED THAT BACKFILL AND COMPACTION MEET THE MANUFACTURER'S SPECIFICATIONS.
  - THE CULVERTS AT STATION 3+55± AND 4+60± SHALL BE PLACED WITH INVERT SET AT 6" BELOW CHANNEL BOTTOM.



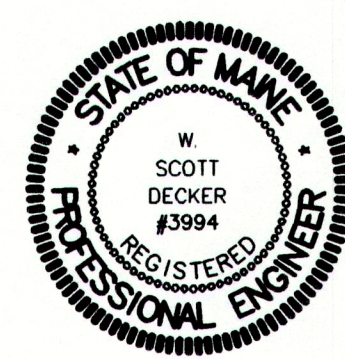
CURVE TABLE								
CURVE	PC STA	PT STA	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION	TANGENT
C1	0+82.82	1+78.21	95.39	150.00	36°26'06"	49.37	N65°32'12"W	93.79
C2	3+69.14	4+72.56	103.42	300.00	19°45'04"	52.23	S73°52'44"E	102.91
C3	6+92.83	13+72.71	479.87	2500.00	10°59'52"	240.68	S59°02'10"E	479.14



J	6/01/05	REVISED CULVERT INVERTS AND ADDED GENERAL NOTE #8	JJC	WSD	WSD
I	9/16/04	REVISED SIGN SETBACK	PBB	WSD	WSD
H	9/13/04	REVISED CULVERT AT STA. 4+65	JSD	WSD	WSD
G	8/31/04	GENERAL REVISIONS	JSD	WSD	WSD

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants. ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.			F	8/12/04	REVISED ROADWAY CONTOURS - STA 4+00 TO 4+75	AAH	WSD	WSD
			E	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
			D	6/15/04	REVISED AND REISSUED TO CCSWCD	AAH	WSD	WSD
			C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD
			B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
			A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD
NO.		REFERENCE DRAWINGS	REV.	DATE		BY	CHKD	APPD

SCALE	HORZ: 1"=40'	VERT: 1"=4'
NO.		STATUS

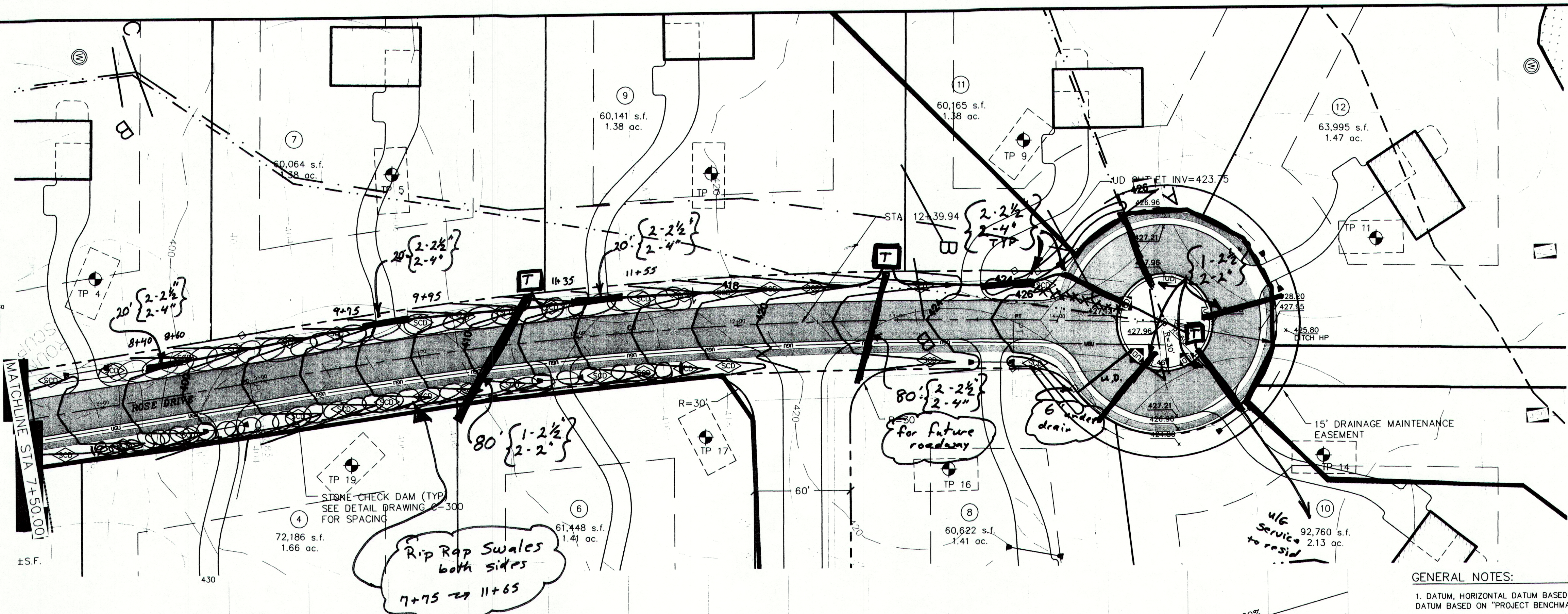
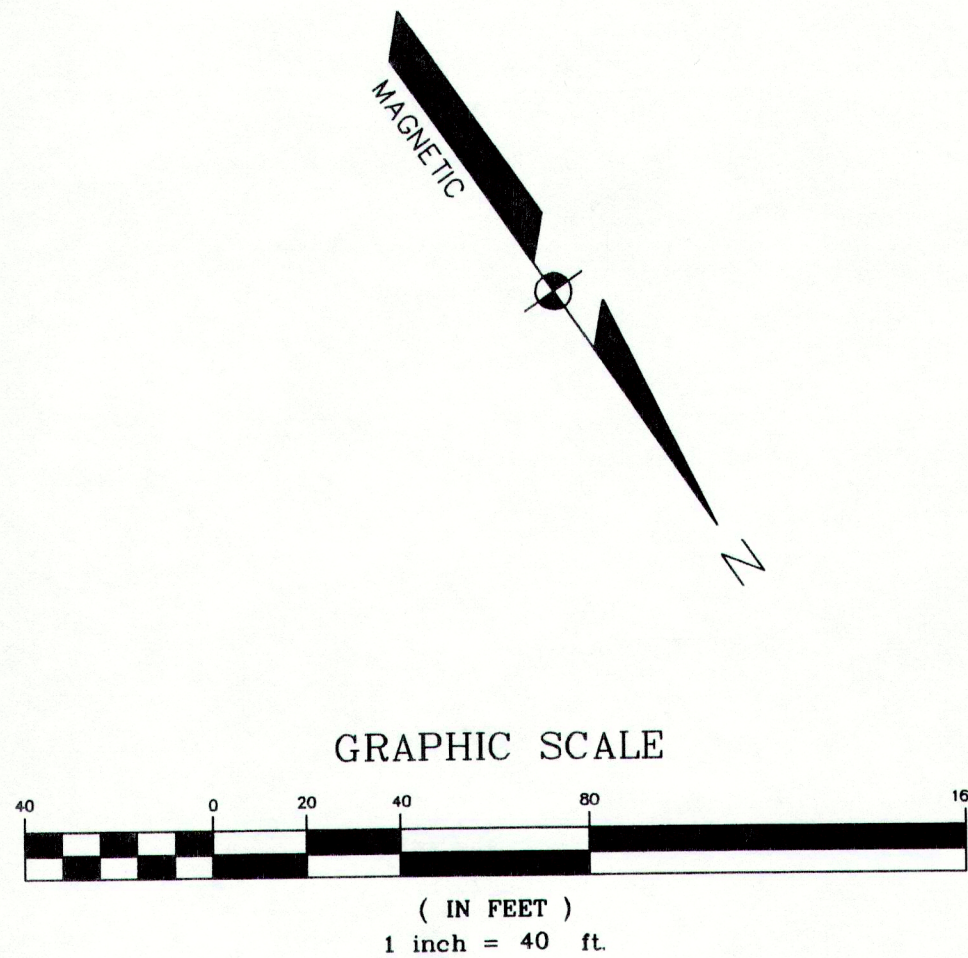


**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS  
P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com  
CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: STAFF	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	PLAN & PROFILE
PROJECT DIR:	DATE: MAY 2004	STA 0+00 - 7+50.00
DRAWING NAME	SCALE: AS NOTED	PROJ. NO. 04-213.00
04-21300-C101		DWG. NO. C-102

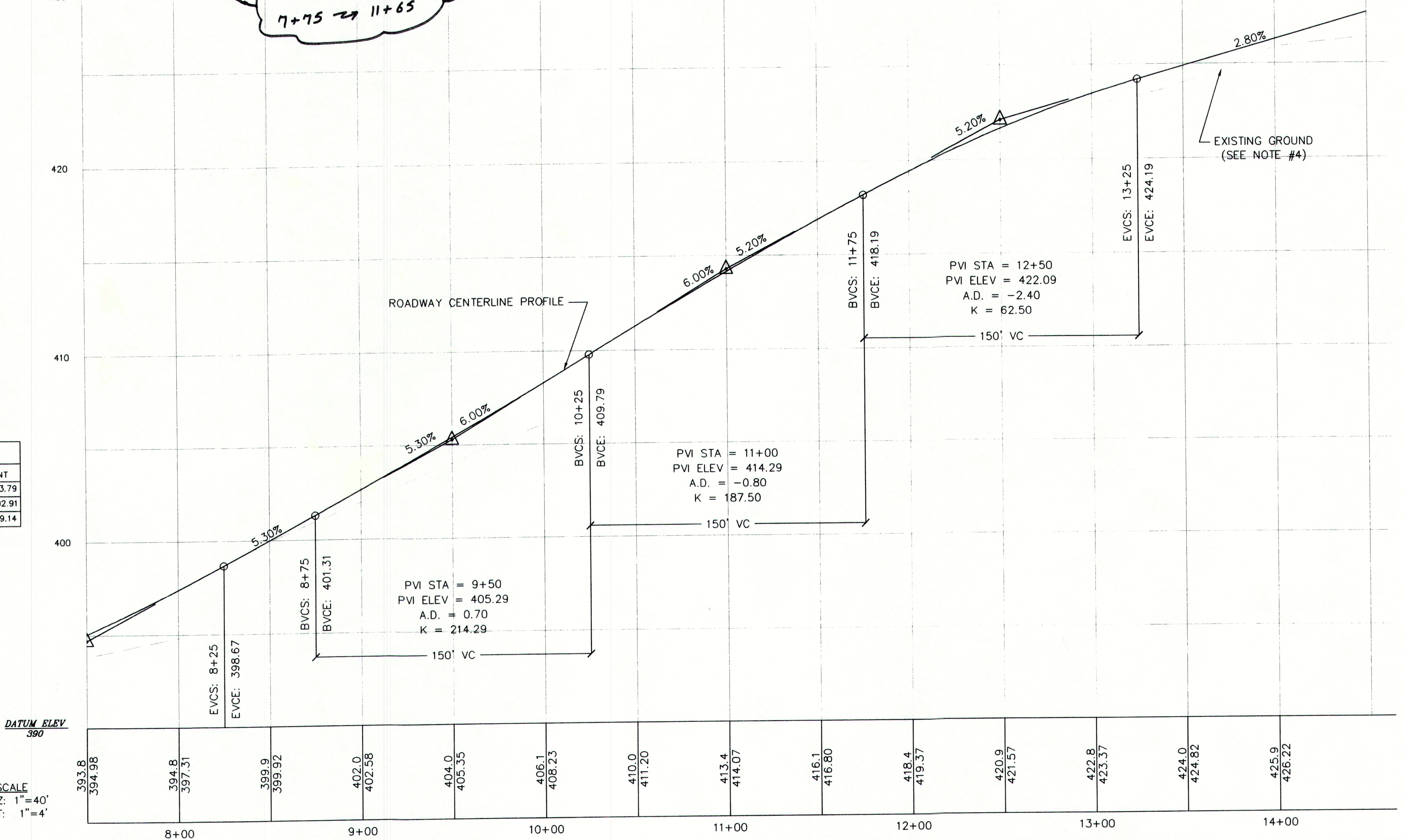
RECORD PLAN 11-20-06





- GENERAL NOTES:
- DATUM, HORIZONTAL DATUM BASED ON NAD 83, MAINE STATE PLANE, WEST ZONE. VERTICAL DATUM BASED ON "PROJECT BENCHMARK" IDENTIFIED ON NAVD 88.
  - UTILITY INFORMATION SHOWN IS A COMPILATION OF BEST AVAILABLE PLAN INFORMATION AND FIELD OBSERVATION OF UTILITIES ABOVE GRADE. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THIS PLAN SHOULD BE USED FOR PLANNING PURPOSES ONLY. DIG SAFE SHOULD BE CONSULTED PRIOR TO ANY CONSTRUCTION.
  - PLAN CONTOURS ARE BASED ON AERIAL PHOTOGRAPHY BY AERIAL SURVEY, INC. OF NORRIDGEWOCK, MAINE WITH GROUND CONTROL SURVEY BY TITCOMB ASSOCIATES OF FALMOUTH, MAINE.
  - EXISTING GROUND PROFILE IS THE RESULT OF FIELD SURVEY BY TITCOMB ASSOCIATES, FALMOUTH, MAINE IN APRIL 2004.
  - THE LOCATION OF DRIVEWAYS, DRIVEWAY CULVERTS, HOUSES AND SEPTIC SYSTEMS ON EACH LOT ARE SHOWN TO MERELY INDICATE A POSSIBILITY FOR THE DEVELOPMENT OF THE LOT. THE INDIVIDUAL LOT OWNER SHALL DETERMINE THE DEVELOPMENT LAYOUT OF HIS/HER LOT WHICH MUST BE APPROVED BY CUMBERLAND CODE ENFORCEMENT OFFICER BEFORE A BUILDING PERMIT WILL BE ISSUED. NO FILLING OF WETLANDS OTHER THAN AT THE LOCATIONS SHOWN WILL BE ALLOWED WITHOUT REGULATORY APPROVAL.
  - DURING CONSTRUCTION, CONSTRUCTION MATERIAL WASTE MUST BE SEPARATED FROM HAZARDOUS WASTE MATERIAL, IF ANY, AND PLACED IN A STORAGE CONTAINER (DUMPSTER) TO BE HAULED AND PROPERLY DISPOSED OF BY THE HAULER AT AN APPROVED D.E.P. DISPOSAL SITE.
  - CORRUGATED METAL PIPE IS UNACCEPTABLE FOR CULVERT MATERIAL. ADS, HANCOR OR SMOOTH BORE ARE ACCEPTABLE PROVIDED THAT BACKFILL AND COMPACTION MEET THE MANUFACTURER'S SPECIFICATIONS.

CURVE TABLE								
CURVE	PC STA	PT STA	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION	TANGENT
C1	0+82.82	1+78.21	95.39	150.00	36°26'06"	49.37	N65°32'12"W	93.79
C2	3+69.14	4+72.56	103.42	300.00	19°45'04"	52.23	S73°52'44"E	102.91
C3	8+92.83	13+72.71	479.87	2500.00	10°59'52"	240.68	S59°02'10"E	479.14



RECORD PLAN 11-20-06

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.

E	8/31/04	GENERAL REVISIONS	JSD	WSD	WSD
D	7/27/04	SUMMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
C	6/29/04	REVISED AND REISSUED TO TOWN	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING	RST	WSD	WSD
NO.	REV.	DATE	STATUS	BY	CHKD APPD

**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: CYN	PROJECT: <b>ORCHARD RIDGE SUBDIVISION</b> ORCHARD ROAD, CUMBERLAND, MAINE
FIELD BOOK PAGE	DRAWN: CYN	
FLAT FILE INDEX NUMBER	CHKD: WSD	
PROJECT DIR.	DATE: MAY 2004	
DRAWING NAME	SCALE: AS NOTED	PROJ. NO. <b>04-213.00</b>
04-21300-C101		DWG. NO. <b>C-103</b>

REV. **E**



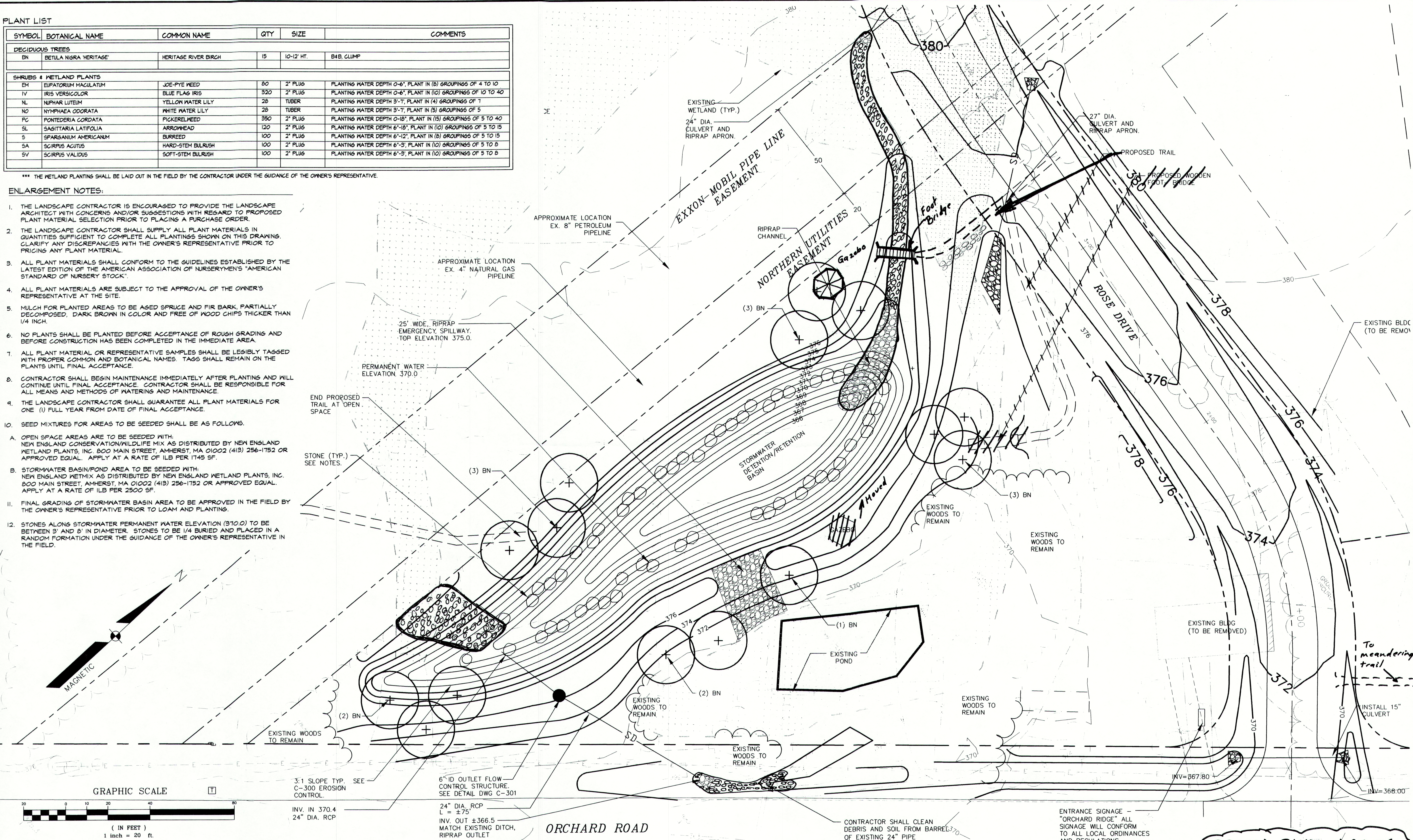
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
BN	BETULA NIGRA HERITAGE	HERITAGE RIVER BIRCH	15	10-12' HT.	B4B, CLUMP
<b>SHRUBS &amp; WETLAND PLANTS</b>					
EM	EUPATORIUM MACULATUM	JOE-PYE WEED	80	2' PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (8) GROUPINGS OF 4 TO 10
IV	IRIS VERSICOLOR	BLUE FLAG IRIS	320	2' PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (10) GROUPINGS OF 10 TO 40
NL	NUPHAR LUTEUM	YELLOW WATER LILY	28	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (4) GROUPINGS OF 7
NO	NYMPHAEA ODORATA	WHITE WATER LILY	28	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (5) GROUPINGS OF 5
PC	PONTERDERIA GORDATA	PICKERELWEED	350	2' PLUG	PLANTING WATER DEPTH 0'-18", PLANT IN (15) GROUPINGS OF 5 TO 40
SL	SAGITTARIA LATIFOLIA	ARROWHEAD	120	2' PLUG	PLANTING WATER DEPTH 6'-18", PLANT IN (10) GROUPINGS OF 5 TO 15
S	SPARGANUM AMERICANUM	BURREED	100	2' PLUG	PLANTING WATER DEPTH 6'-12", PLANT IN (8) GROUPINGS OF 5 TO 15
SA	SCIRPUS ACUTUS	HARD-STEM BULRUSH	100	2' PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8
SV	SCIRPUS VALIDUS	SOFT-STEM BULRUSH	100	2' PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8

\*\*\* THE WETLAND PLANTING SHALL BE LAID OUT IN THE FIELD BY THE CONTRACTOR UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE.

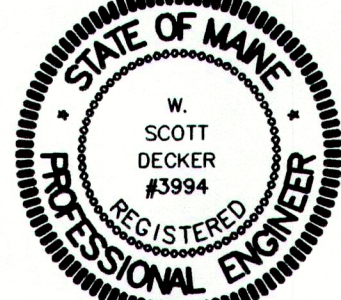
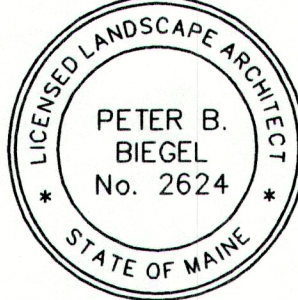
ENLARGEMENT NOTES:

- THE LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARD TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE OWNER'S REPRESENTATIVE PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE.
- MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SEED MIXTURES FOR AREAS TO BE SEEDED SHALL BE AS FOLLOWS:
  - OPEN SPACE AREAS ARE TO BE SEEDED WITH: NEW ENGLAND CONSERVATION/WILDLIFE MIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 1745 SF.
  - STORMWATER BASIN/POND AREA TO BE SEEDED WITH: NEW ENGLAND WETMIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1752 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 2500 SF.
- FINAL GRADING OF STORMWATER BASIN AREA TO BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE PRIOR TO LOAM AND PLANTING.
- STONES ALONG STORMWATER PERMANENT WATER ELEVATION (370.0) TO BE BETWEEN 3' AND 6' IN DIAMETER. STONES TO BE 1/4 BURIED AND PLACED IN A RANDOM FORMATION UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE IN THE FIELD.



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.

NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
		E	6/01/05	CHANGED CULVERT SIZE	JJC	WSD	WSD
		D	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
		C	7/15/04	REVISED AND REISSUED TO THE CCSWCD	AAH	WSD	WSD
		B	6/29/04	REVISED AND REISSUED TO THE TOWN	PBB	WSD	WSD
		A	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	PBB	WSD	WSD



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

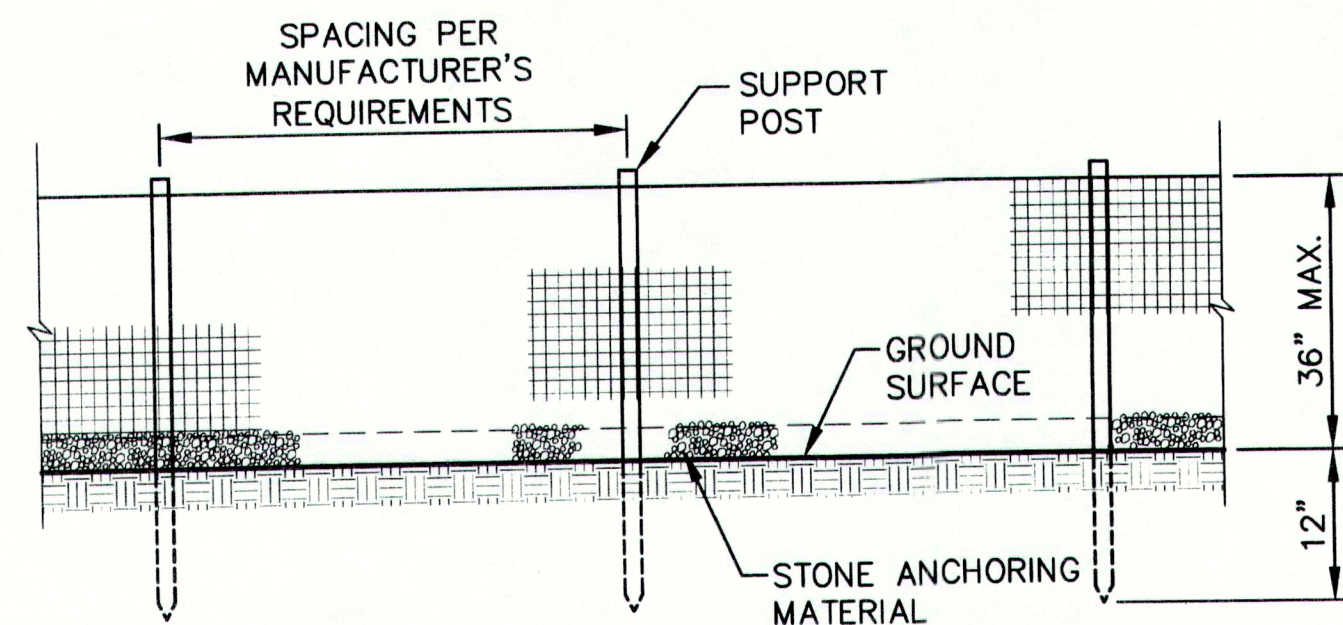
FIELD BOOK #	DESIGN: WSD/AAH/PBB
FIELD BOOK PAGE	DRAWN: RST/AAH/PBB
FLAT FILE INDEX NUMBER	CHKD: WSD
PROJECT DIR.	DATE: MAY 2004
DRAWING NAME	SCALE: 1"=20'
04-21300-C-104	

PROJECT:	ORCHARD RIDGE SUBDIVISION ORCHARD ROAD, CUMBERLAND, MAINE
LANDSCAPE PLAN	
PROJ. NO.	04-213.00
DWG. NO.	C-104
REV.	E

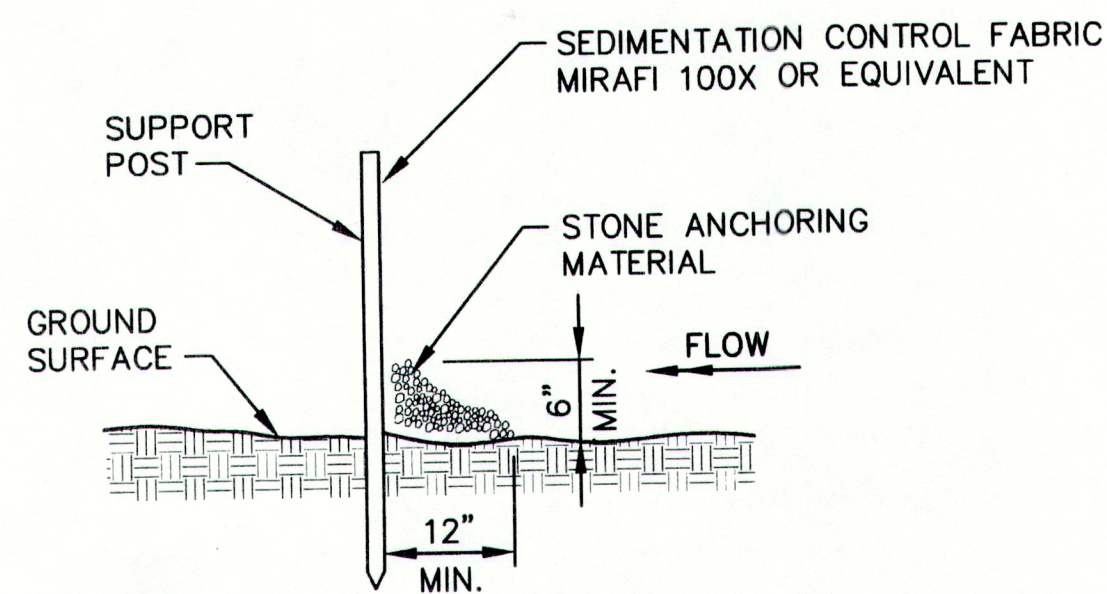






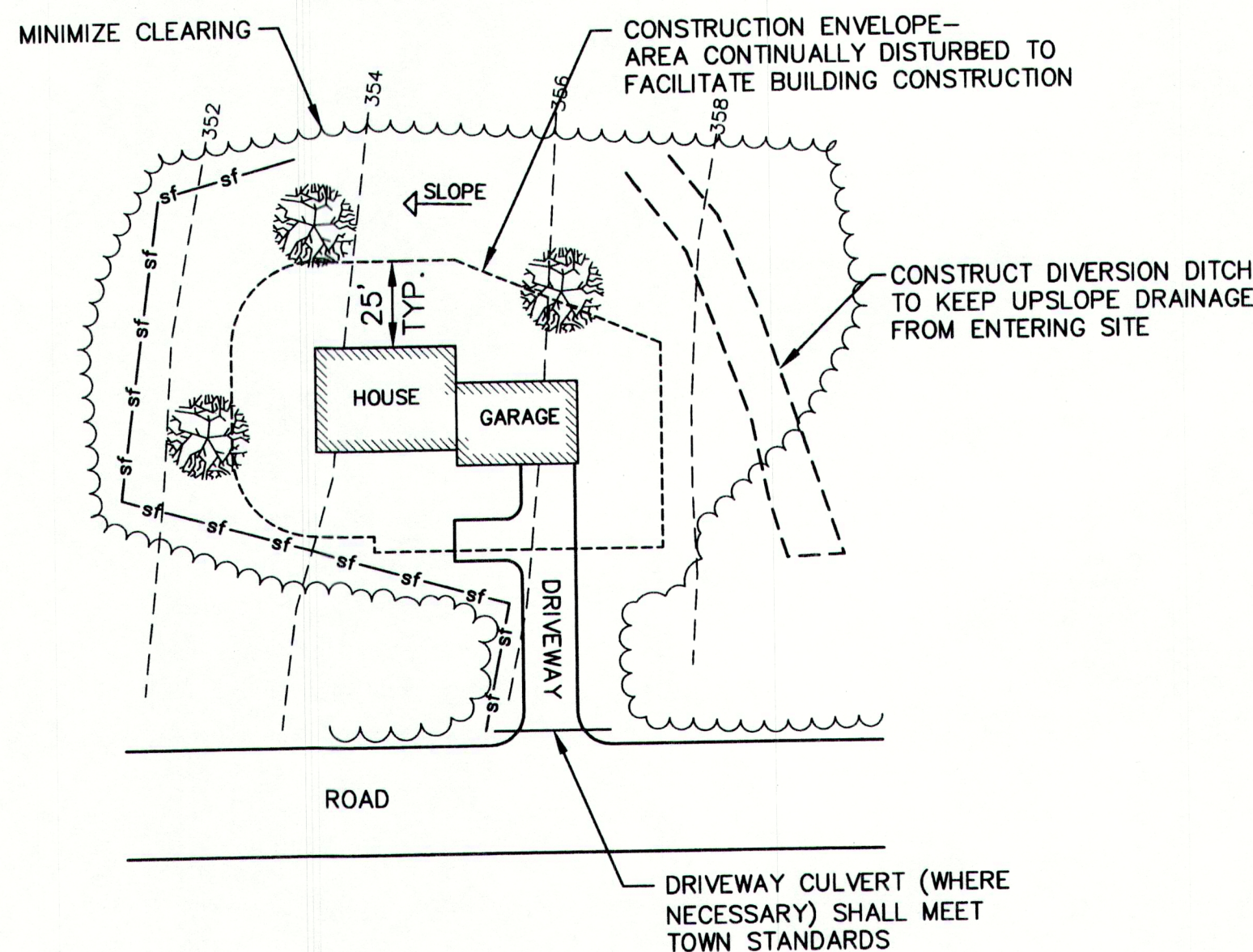


ELEVATION



SECTION

SILTATION FENCE  
"STONE FILLET" SECTION  
N.T.S.



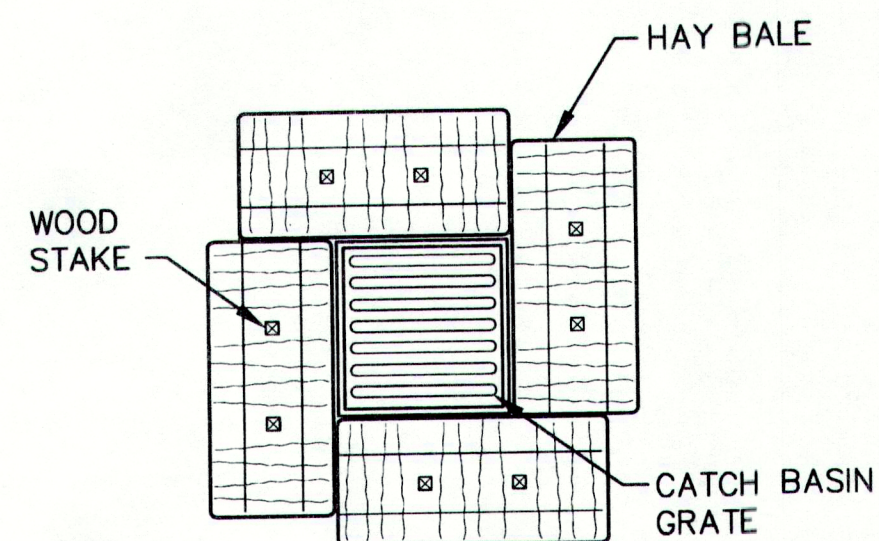
NOTES:

- MULCH ALL AREAS OUTSIDE 25' ENVELOPE WITHIN 7 DAYS OF FOUNDATION BACKFILL REGARDLESS OF FINAL OR ROUGH GRADING.
- THIS SKETCH INDICATES THE INTENT OF THE SOIL EROSION MEASURES. ACTUAL SITE CONDITIONS WILL VARY FROM SITE TO SITE.
- BUILDING CONTRACTORS SHALL COMPLY WITH THE EROSION CONTROL NOTES SHOWN ON THESE DRAWINGS AND WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES."

TYPICAL BUILDING SITE EROSION CONTROL PLAN  
N.T.S.

CONSTRUCTION SEQUENCE

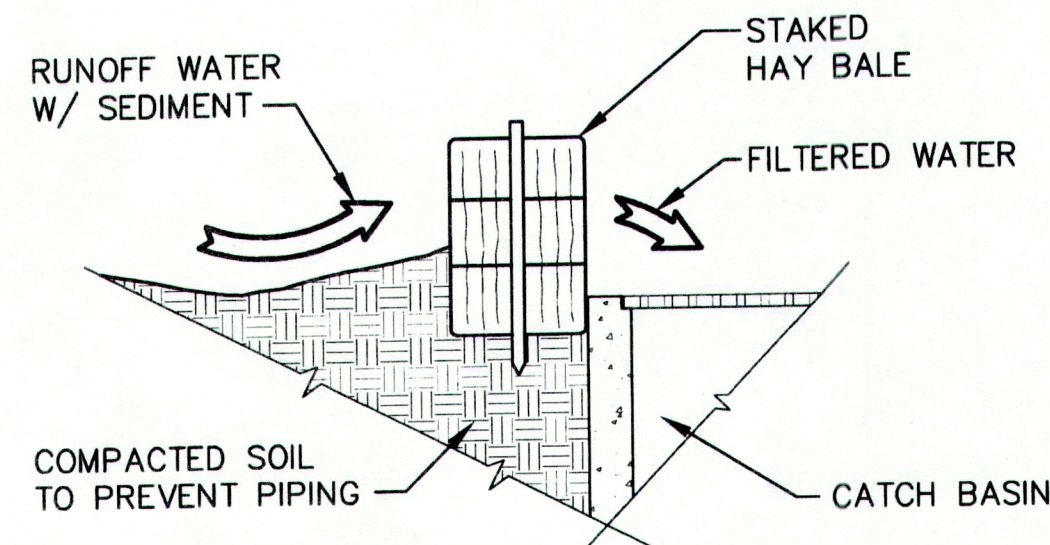
- INSTALL TEMPORARY EROSION CONTROL MEASURES IN THE VICINITY OF THE SITE ENTRANCE AREA AND PROPOSED POND INCLUDING A STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE @ LOCATIONS SHOWN ON THE PLANS AND AT OTHER LOCATIONS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE
- CUT TREES AND CLEAR SITE WITHIN CONSTRUCTION AREA.
- INSPECT AND REPAIR, AS NECESSARY, EXISTING TEMPORARY EROSION CONTROL MEASURES.
- INSTALL ADDITIONAL EROSION CONTROL MEASURES NECESSARY FOR WORK AS DEPICTED ON PLANS.
- COMPLETE CLEARING AND GRUBBING OF SITE, STOCKPILING OF TOPSOIL.
- CONSTRUCT DETENTION POND
- CONSTRUCT ROAD AND INSTALL CULVERTS
- INSTALL OTHER PROJECT APPURTENANCES
- PLACE LOAM SEED & MULCH, AS AREAS ARE COMPLETED
- FOLLOWING THE ESTABLISHMENT OF GRASS, REMOVE TEMPORARY EROSION CONTROL MEASURES



NOTE:

INSTALL BARRIER AT CATCH BASIN IF GRATE IS SET FLUSH WITH WORKING GRADE

PLAN

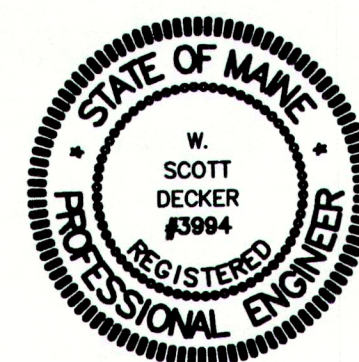


SECTION

CATCH BASIN HAY BALE BARRIER  
N.T.S.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.

NO.	REFERENCE DRAWINGS	REV.	DATE	STATUS	BY	CHKD	APPD
		B	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
		A	6/29/04	ISSUED TO TOWN AND DEP	JSD	WSD	WSD



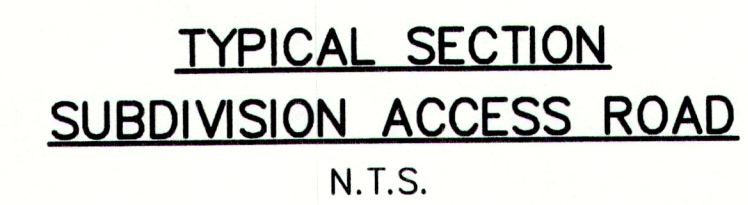
**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

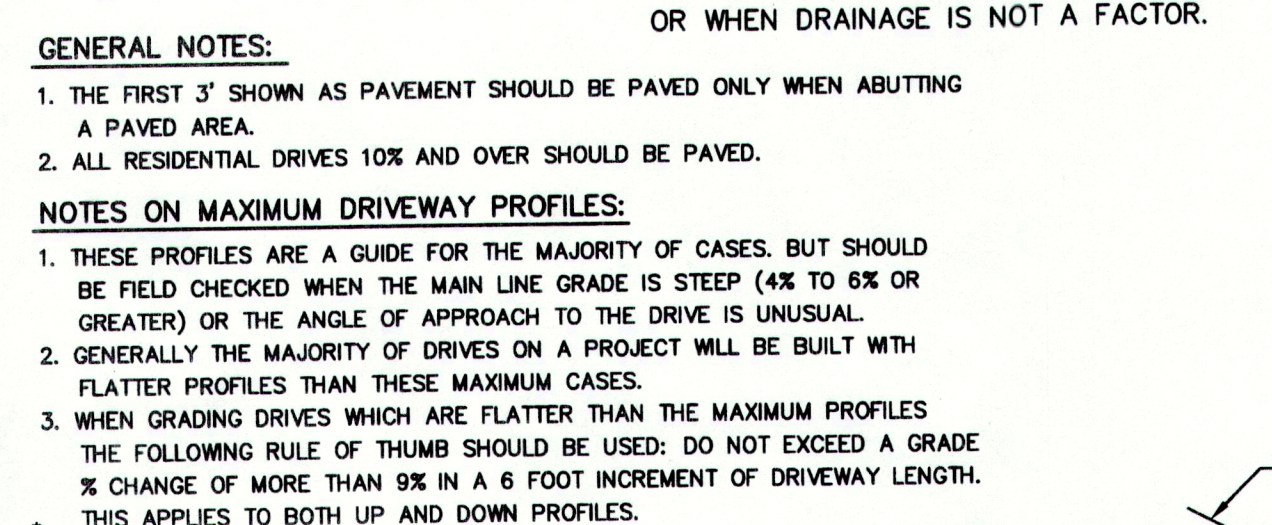
FIELD BOOK #	DESIGN: CYN	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: CYN	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS - SHEET 2 OF 2
PROJECT DIR.	DATE: MAY 2004	PROJ. NO. 04-213.00
DRAWING NAME	SCALE: AS NOTED	DWG. NO. C-301
04-21300-SK100		REV. B



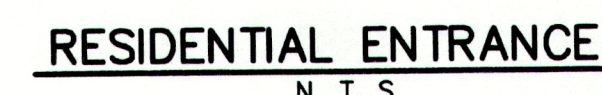
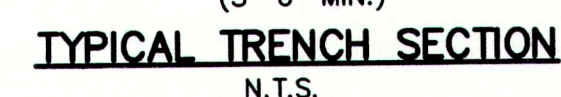
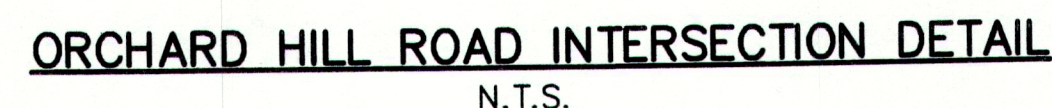
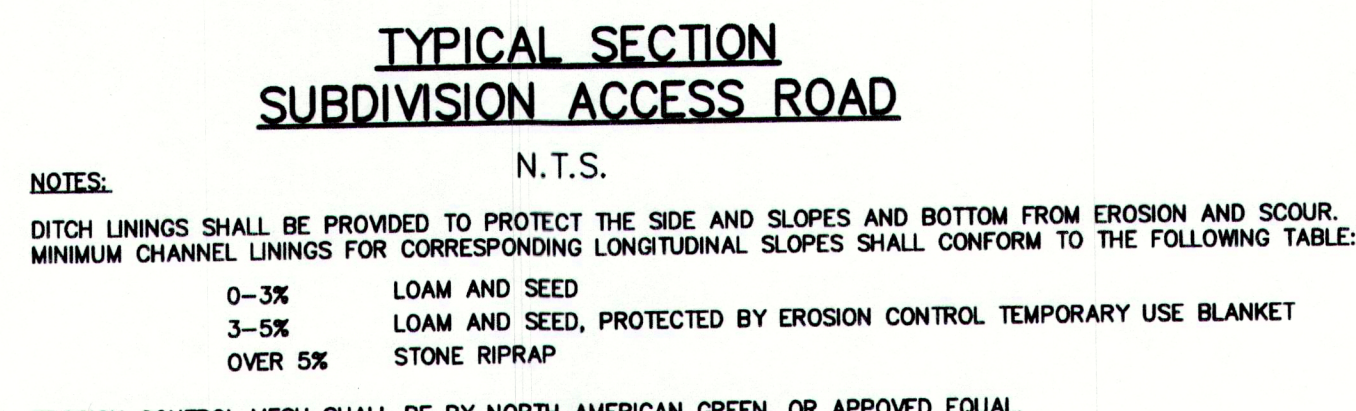


THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--





N.T.S.

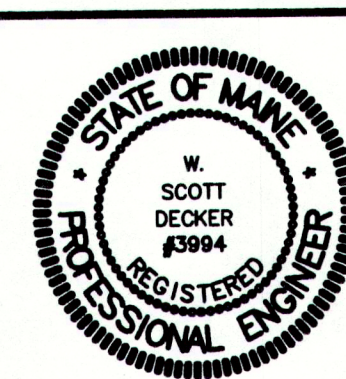



- UNDERDRAIN TRENCH TYPE "B"**



H	8/12/04	REVISED ELEVATIONS OF DETENTION POND EMBANKMENT	AAH	TWS	TWS
G	7/27/04	REVISED AND SUBMITTED TO TOWN FOR FINAL APPROVAL	AAH	TWS	TWS
F	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
E	7/12/04	REVISED DWG # AND REISSUED TO CCSWCD	AAH	WSD	WSD
D	6/29/04	REVISED AND REISSUED TO TOWN	JSD	WSD	WSD
C	5/27/04	GENERAL REVISIONS TO STORMWATER DETAILS	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING			
REV.	DATE	STATUS	BY	CHKD	APPR

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.



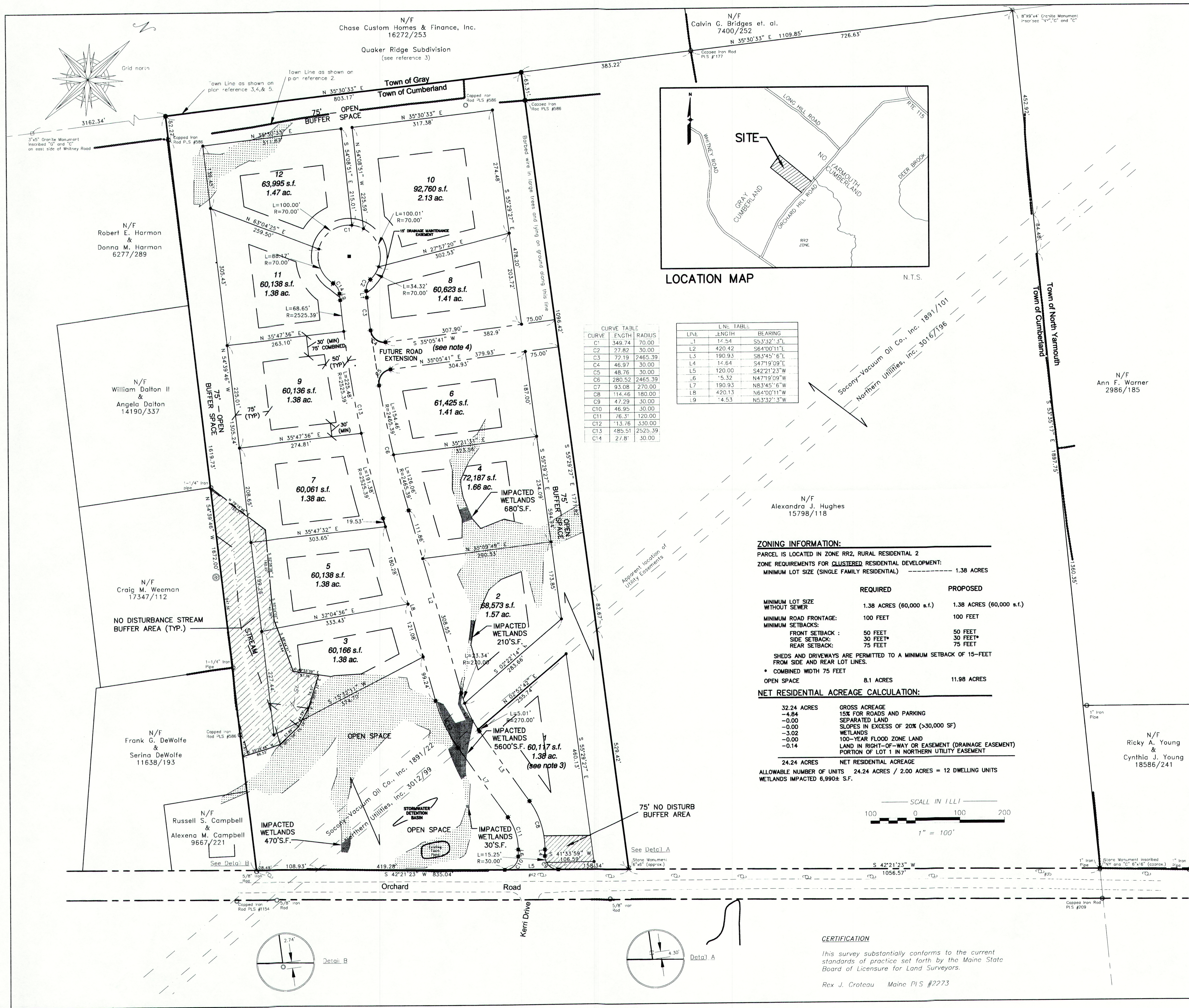
 **SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-0094 Fax: (207) 829-2231 Email: [info@sytdesign.com](mailto:info@sytdesign.com)

CLIENT: ORCHARD RIDGE, LLC  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD	PROJECT:		<b>ORCHARD RIDGE SUBDIVISION</b> ORCHARD ROAD, CUMBERLAND, MAINE	REV.
FIELD BOOK PAGE	DRAWN: STAFF	<b>CIVIL DETAILS AND SECTIONS</b> 1 OF 1			
FLAT FILE INDEX NUMBER	CHKD: WSD				
PROJECT DIR.	DATE: MAY 2004	PROJ. NO.	04-213.00		
DRAWING NAME	SCALE: AS NOTED	DWG.	C-302		H





**LEGEND**

Monument - found  
Monument, 6"x6" (proposed)  
Iron marker - found  
Iron marker, #5 rebar (proposed)  
Utility pole  
No Disturbance Stream Buffer Area

Impacted Wetlands  
Stone wall  
Edge of pavement  
Easement line  
Road right of way line  
Town line  
Well

APPROVED BY THE TOWN OF CUMBERLAND, MAINE PLANNING BOARD.

DATE:

CHAIRMAN:

**REFERENCES**

- (1) Town line and Orchard Road records provided by the Town of Cumberland.
- (2) Plan of Property made for Orville S. Jewett by Survey, Inc. dated October, 1986.
- (3) Plan of Quaker Ridge Subdivision made by Pinkham and Greer dated August 30, 2001, recorded in the Cumberland County Registry of Deeds in Plan Book 202, Page 654.
- (4) Boundary Survey made for Cecil A. Doughty and Louise J. Doughty by Royal River Survey Company dated June 9, 2003.
- (5) Boundary Survey made for Alexandra Hughes by Titcomb Associates dated October 24, 2003.

**NOTES**

- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- (2) Bearings are referenced to grid north Maine State Coordinate Plane System, West Zone.
- (3) Lot 1 is subject to the conditions and restrictions set forth in Book 3012, Page 99.
- (4) The future road extension area is created for potential future use by the Town of Cumberland as a connection between the proposed street and adjoining properties or streets. This area will not be utilized for construction or drainage purposes, and no fill shall be placed without prior Town approval. The area is not to be used as a sole source of access/egress to the abutting property.
- (5) Additional filling of wetlands, in addition that shown as wetland impact, will not be allowed without regulatory approval.
- (6) Individual lot owners are responsible for installation of erosion control measures during construction activities associated with home-building, see drawing C-300 and C-302 for details.
- (7) During construction, construction material waste must be separated from hazardous waste material, if any, and placed in a storage container (dumpster) to be hauled and properly disposed of by the hauler at an approved D.L.P. disposal site.
- (8) Each residence shall include the following appurtenances as approved by the town of Cumberland fire chief:
  - the location and style of street numbers shall be approved by the fire department.
  - an outside flashing light, that is interconnected with the smoke detectors, shall be located in an area easily visible from the driveway of each residence.
- (9) Lot owners have the right to drill wells in the open space, if necessary.
- (10) The residential structure on each lot must have an NFPA approved sprinkler system.
- (11) Septic systems shall be located in accordance with the limitations established and shown by Sweet Associates on plan entitled "Nitrate Analysis and Well Exclusion Area Plan". Any modifications to the septic system leach bed locations shown on that plan must be submitted to the town for approval.
- (12) Subdivision, sign maintenance shall be by the Homeowner's Association (HOA).
- (13) Stormwater detention basin maintenance shall be by Homeowner's Association. The town of Cumberland shall have the right to entry to perform maintenance, if not performed by the HOA and bill the HOA for said maintenance costs.
- (14) Stormwater management analysis assumptions:
  - 2000 s.f. footprint of structure
  - 1500 s.f. area of driveway
  - 6500 s.f. area of lawnIf a lot owner intends to significantly exceed these areas, he must obtain State and Local approval prior to construction.
- (15) Trails to be in open space, owned and maintained by Homeowners Assoc. Trails to be cleared by developer and base left in natural condition. Trails to be open for public use.

**EASEMENTS OF RECORD**

- (1) Freddie H. Flint to Socony-Vacuum Oil Company, Incorporated 1891/22.
- (2) Orville S. Jewett to Northern Utilities, Inc. 3012/99.

**AREAS**


Combined lot area = 17.91 acres  
Stream Buffer Area

Combined open space area = 11.51 acres

Road area = 2.82 acres  
Total area = 32.24 acres

**OWNERS OF RECORD**

Greta Rose Jewett  
Book 18842, Page 23

Rev. 2	Note 4	Aug. 19, 2004	RJC		
Rev. 1	Stream Buffer Area	Aug. 16, 2004	RJC		
<b>ORCHARD RIDGE SUBDIVISION</b>					
Plat Plan					
Orchard Road		Cumberland, Maine			
MADE FOR					
SYTDesign Consultants					
P. O. Box 86A		Cumberland Center, Maine			
JOB# 204026	DATE: August 14, 2002	SCALE: 1"=100'			
BOOK# 765					
LP#204026.DWG					
FILE# 8745	 <b>Titcomb Associates</b> 133 Gray Road Edinboro, Maine 04105				

**ZONING INFORMATION:**

PARCEL IS LOCATED IN ZONE RR2, RURAL RESIDENTIAL 2

ZONE REQUIREMENTS FOR CLUSTERED RESIDENTIAL DEVELOPMENT:

MINIMUM LOT SIZE (SINGLE FAMILY RESIDENTIAL) 1.38 ACRES

	REQUIRED	PROPOSED
MINIMUM LOT SIZE WITHOUT SEWER	1.38 ACRES (60,000 s.f.)	1.38 ACRES (60,000 s.f.)
MINIMUM ROAD FRONTAGE:	100 FEET	100 FEET
MINIMUM SETBACKS:		
FRONT SETBACK:	50 FEET	50 FEET
SIDE SETBACK:	30 FEET*	30 FEET*
REAR SETBACK:	75 FEET	75 FEET

SHEDS AND DRIVEWAYS ARE PERMITTED TO A MINIMUM SETBACK OF 15- FEET FROM SIDE AND REAR LOT LINES.

\* COMBINED WIDTH 75 FEET

OPEN SPACE 8.1 ACRES 11.98 ACRES

**NET RESIDENTIAL ACREAGE CALCULATION:**

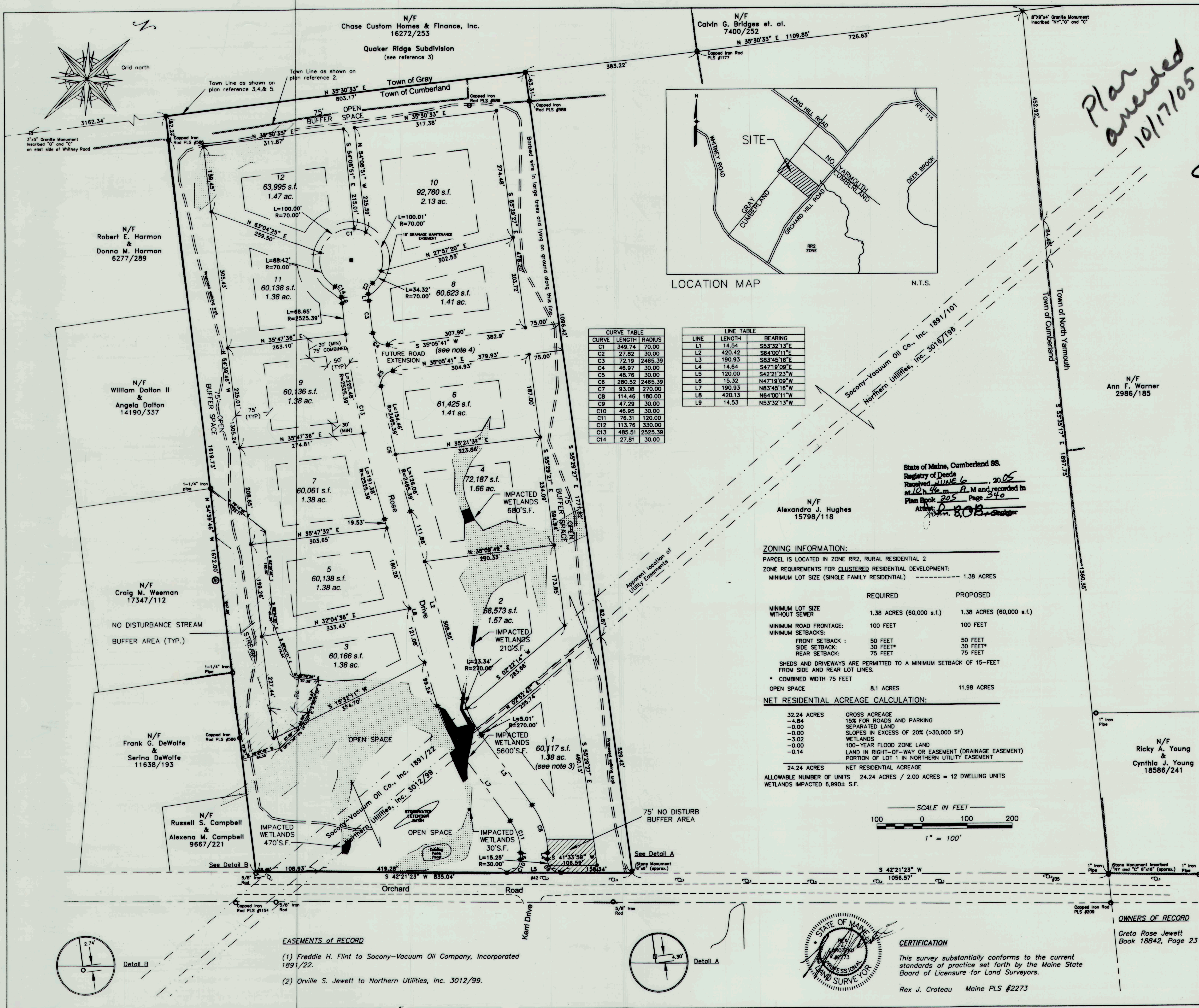
32.24 ACRES	GROSS ACREAGE
-4.84	15% FOR ROADS AND PARKING
-0.00	SEPARATED LAND
-0.00	SLOPES IN EXCESS OF 20% (>30,000 SF)
-3.02	WETLANDS
-0.00	100-YEAR FLOOD ZONE LAND
-0.14	LAND IN RIGHT-OF-WAY OR EASEMENT (DRAINAGE EASEMENT)
	PORTION OF LOT 1 IN NORTHERN UTILITY EASEMENT
24.24 ACRES	NET RESIDENTIAL ACREAGE
ALLOWABLE NUMBER OF UNITS	24.24 ACRES / 2.00 ACRES = 12 DWELLING UNITS
WETLANDS IMPACTED	6,990± S.F.

**CERTIFICATION**

This survey substantially conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

Res. J. Croteau Maine PLS #2273





**LEGEND**

- Monument - found
- Monument, 6"x6" (proposed)
- Iron marker - found
- Iron marker, #5 rebar (proposed)
- Utility pole
- No Disturbance Stream Buffer Area
- Wetland area
- Impacted Wetlands
- Stone wall
- Edge of pavement
- Easement line
- Road right of way line
- Town line
- Well

**APPROVED BY THE TOWN OF CUMBERLAND, MAINE PLANNING BOARD.**

DATE: 6-6-05

CHAIRMAN: *Chris M. [Signature]*

**REFERENCES:**

- (1) Town line and Orchard Road records provided by the Town of Cumberland.
- (2) Plan of Property made for Orville S. Jewett by Survey, Inc. dated October, 1986.
- (3) Plan of Quaker Ridge Subdivision made by Pinkham and Greer dated August 30, 2001, recorded in the Cumberland County Registry of Deeds in Plan Book 202, Page 654.
- (4) Boundary Survey made for Cecil A. Daughy and Louise J. Daughy by Royal River Survey Company dated June 9, 2003.
- (5) Boundary Survey made for Alexandra Hughes by Titcomb Associates dated October 24, 2003.

**NOTES:**

- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
- (2) Bearings are referenced to grid north Maine State Coordinate Plane System, West Zone.
- (3) Lot 1 is subject to the conditions and restrictions set forth in Book 3012, Page 99.
- (4) The future road extension area is created for potential future use by the Town of Cumberland as a connection between the proposed street and adjoining properties or streets. This area will not be utilized for construction or drainage purposes, and no fill shall be placed without prior Town approval. The area is not to be used as a sole source of access/egress to the abutting property. The recording of this Plat Plan will be deemed a dedication to the Town of Cumberland.
- (5) Additional filling of wetlands, in addition that shown as wetland impact, will not be allowed without regulatory approval.
- (6) Individual lot owners are responsible for installation of erosion control measures during construction activities associated with home-building, see drawing C-300 and C-302 for details.
- (7) During construction, construction material waste must be separated from hazardous waste material, if any, and placed in a storage container (dumpster) to be hauled and properly disposed of by the hauler at an approved D.E.P. disposal site.
- (8) Each residence shall include the following appurtenances as approved by the town of Cumberland fire chief:
  - \* the location and style of street numbers shall be approved by the fire department.
  - \* an outside flashing light, that is interconnected with the smoke detectors, shall be located in an area easily visible from the driveway of each residence.
- (9) Lot owners have the right to drill wells in the open space, if necessary.
- (10) The residential structure on each lot must have an NFPA approved sprinkler system.
- (11) Septic systems shall be located in accordance with the limitations established and shown by Sweet Associates on plan entitled "Nitrate Analysis and Well Exclusion Area Plan". Any modifications to the septic system leach bed locations shown on that plan must be submitted to the Town for approval.
- (12) Subdivision, sign maintenance shall be by the Homeowner's Association (HOA).
- (13) Stormwater detention basin maintenance shall be by Homeowner's Association. The Town of Cumberland shall have the right to entry to perform maintenance, if not performed by the HOA and bill the HOA for said maintenance costs.
- (14) Stormwater management analysis assumptions:
  - 2000 s.f. - footprint of structure
  - 1500 s.f. - area of driveway
  - 6500 s.f. - area of lawn
 If a lot owner intends to significantly (greater than 5% increase) exceed these areas, he must obtain State and Local approval prior to construction.
- (15) Trails to be in open space, owned and maintained by Homeowners Assoc. Trails to be cleared by developer and base left in natural condition. Trails to be open for public use.
- (16) No excavation shall be made on land adjacent to the pipelines which will in any way impair or withdraw the lateral support or which will cause any subsidence or damage to the pipelines.
- (17) Prior to any work in the vicinity of the Exxon-Mobile Pipeline Company assets, contractor must contact the Exxon-Mobile area supervisor Mike Dencso at (207) 797-1999 a minimum of 72 hours prior to any work.
- (18) Prior to any work in the vicinity of the Northern Utilities pipeline assets, contractor must contact the Northern Utilities supervisor Rick Bellemare at (207) 797-8002 a minimum of 72 hours prior to any work.
- (19) A minimum of 100 foot separation must be maintained between wells and septic system leach fields.

**AREAS**

Combined lot area= 17.91 acres

Combined open space area= 11.51 acres

Road area= 2.82 acres

Total area= 32.24 acres

**OWNERS OF RECORD**

Greta Rose Jewett  
Book 18842, Page 23

**CERTIFICATION**

This survey substantially conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

Rex J. Croteau Maine PLS #2273

**NET RESIDENTIAL ACREAGE CALCULATION:**

REQUIRED	PROPOSED
MINIMUM LOT SIZE WITHOUT SEWER	1.38 ACRES (60,000 s.f.)
MINIMUM ROAD FRONTAGE	100 FEET
MINIMUM SETBACKS:	
FRONT SETBACK:	50 FEET
SIDE SETBACK:	30 FEET*
REAR SETBACK:	75 FEET
SHEDS AND DRIVEWAYS ARE PERMITTED TO A MINIMUM SETBACK OF 15- FEET FROM SIDE AND REAR LOT LINES.	
* COMBINED WIDTH 75 FEET	
OPEN SPACE	8.1 ACRES
	11.98 ACRES

**NET RESIDENTIAL ACREAGE CALCULATION:**

32.24 ACRES	GROSS ACREAGE
-4.64	15% FOR ROADS AND PARKING
-0.00	SEPARATED LAND
-0.00	SLOPES IN EXCESS OF 20% (>30,000 SF)
-3.02	WETLANDS
-0.00	100-YEAR FLOOD ZONE LAND
-0.14	LAND IN RIGHT-OF-WAY OR EASEMENT (DRAINAGE EASEMENT) PORTION OF LOT 1 IN NORTHERN UTILITY EASEMENT
24.24 ACRES	NET RESIDENTIAL ACREAGE

ALLOWABLE NUMBER OF UNITS 24.24 ACRES / 2.00 ACRES = 12 DWELLING UNITS

WETLANDS IMPACTED 6,990± S.F.

**NET RESIDENTIAL ACREAGE CALCULATION:**

32.24 ACRES	GROSS ACREAGE
-4.64	15% FOR ROADS AND PARKING
-0.00	SEPARATED LAND
-0.00	SLOPES IN EXCESS OF 20% (>30,000 SF)
-3.02	WETLANDS
-0.00	100-YEAR FLOOD ZONE LAND
-0.14	LAND IN RIGHT-OF-WAY OR EASEMENT (DRAINAGE EASEMENT) PORTION OF LOT 1 IN NORTHERN UTILITY EASEMENT
24.24 ACRES	NET RESIDENTIAL ACREAGE

ALLOWABLE NUMBER OF UNITS 24.24 ACRES / 2.00 ACRES = 12 DWELLING UNITS

WETLANDS IMPACTED 6,990± S.F.

**ORCHARD RIDGE SUBDIVISION**  
Plat Plan

Orchard Road Cumberland, Maine

MADE FOR

**SYTDesign Consultants**

P. O. Box 86A Cumberland Center, Maine

JOB# 204026 DATE: August 14, 2002 SCALE: 1"=100'

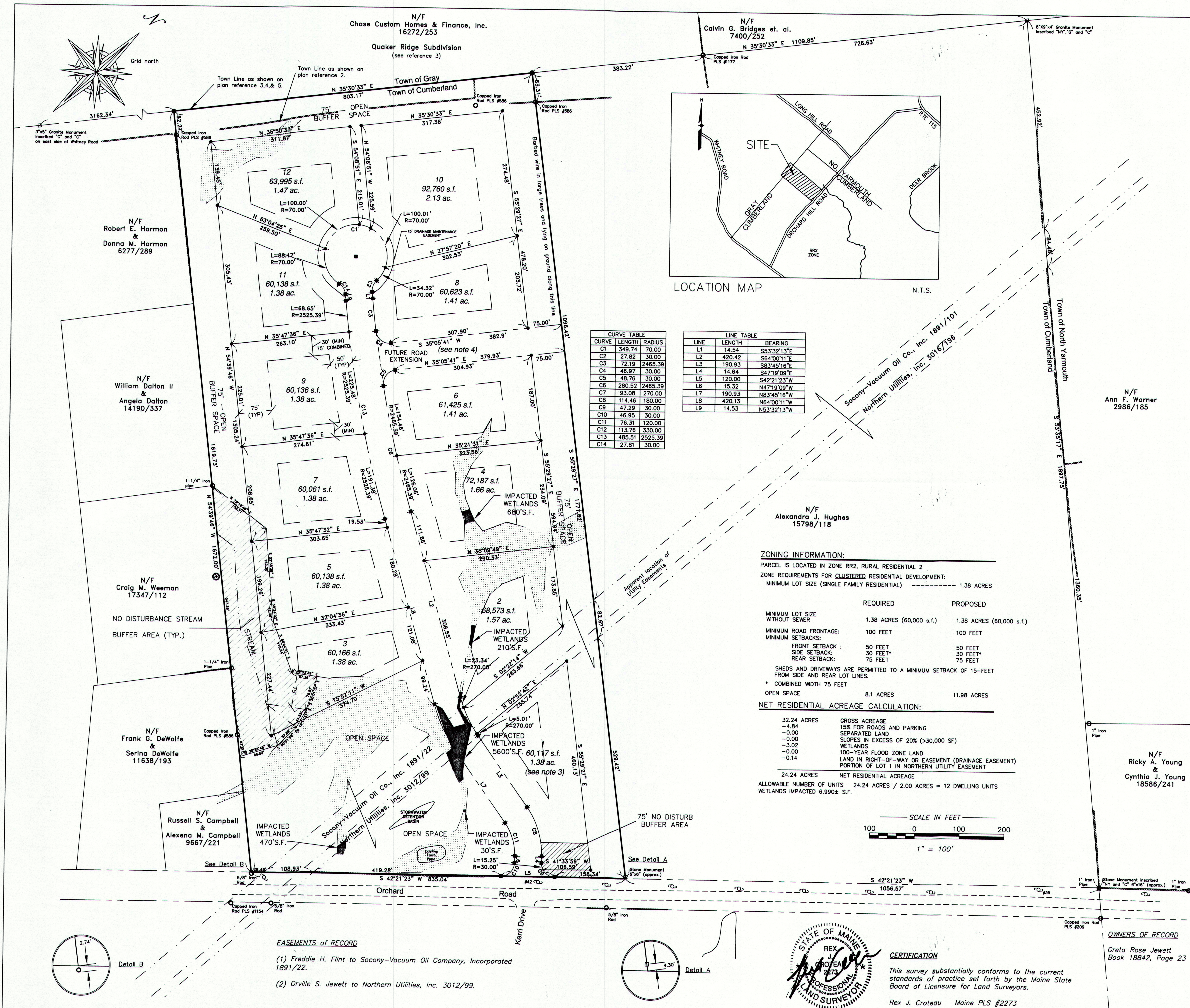
BOOK# 765

Titcomb-Plat\_AA\_r2

FILE# 8745

**Titcomb Associates**  
133 Gray Road Falmouth, Maine 04105





**ORCHARD RIDGE SUBDIVISION**  
Plat Plan

Orchard Road Cumberland, Maine

MADE FOR

**SYTDesign Consultants**

P. O. Box 86A Cumberland Center, Maine

JOB# 204026 DATE: August 14, 2002 SCALE: 1"=100'

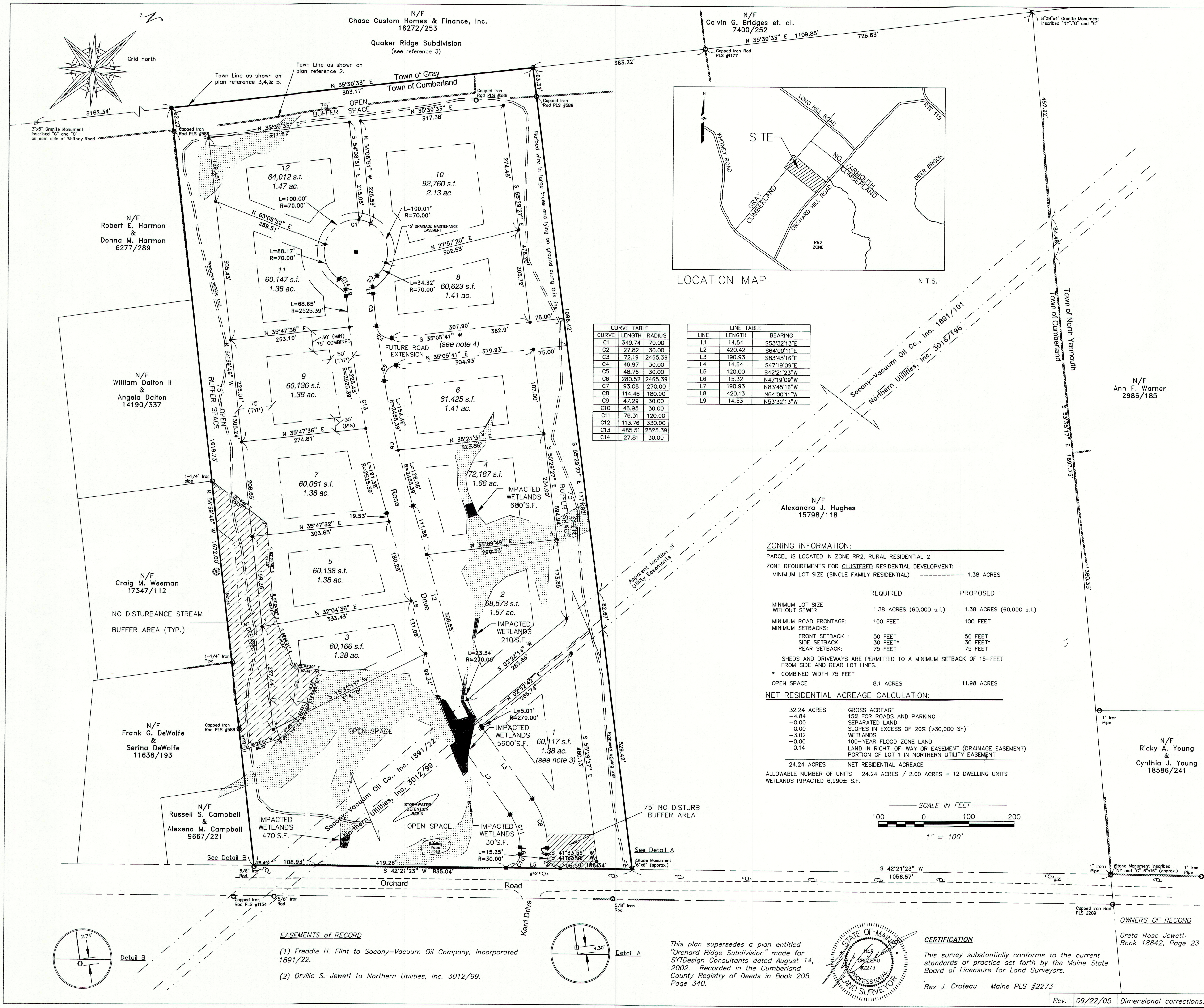
BOOK# 765

Titcomb-Plat\_AA\_12

FILE# 8745

**Titcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105





**ORCHARD RIDGE SUBDIVISION**  
Amended Plat Plan

Orchard Road Cumberland, Maine

MADE FOR  
**SYTDesign Consultants**

P. O. Box 86A Cumberland Center, Maine

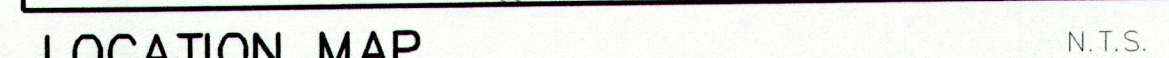
JOB# 204026 DATE: August 14, 2002 SCALE: 1"=100'

BOOK# 765  
Titcomb-Plat\_AA\_r4

**Titcomb Associates**  
133 Gray Road  
Falmouth, Maine 04105

FILE# 8745





**ZONING INFORMATION:**

## PLAN REFERENCES

1. TOWN LINE AND ORCHARD ROAD RECORDS PROVIDED BY THE TOWN

- NET RESIDENTIAL ACREAGE CALCULATION:

75.31 1.5750 CROSS ACRES

24.24 ACRES	NET RESIDENTIAL ACREAGE
-------------	-------------------------

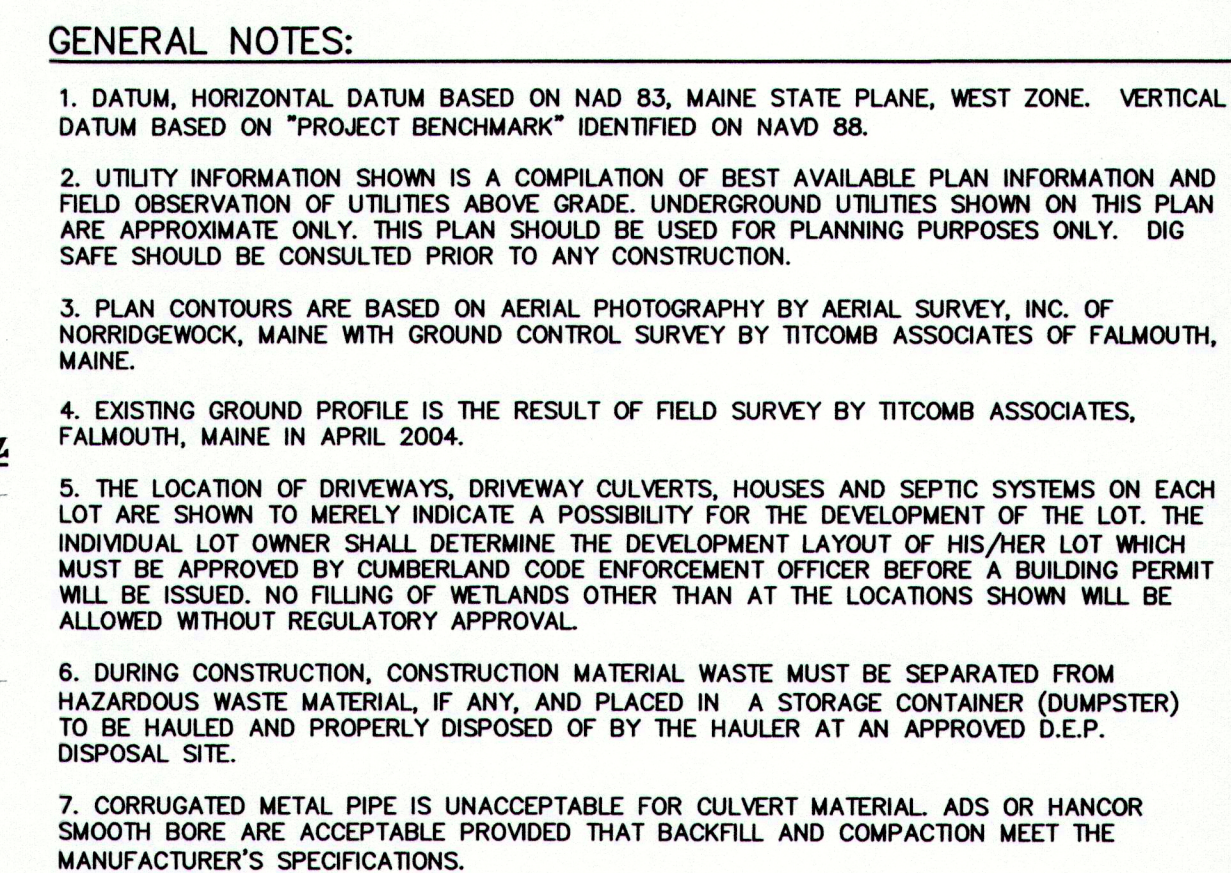
### LEGEND

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, AN

--	--

[illegible]





ROADWAY CENTERLINE PROFILE

EXISTING EDGE OF PAVEMENT ORCHARD ROAD

APPROX. LOCATION EXIST. 8" PETROLEUM PIPELINE

APPROX. LOCATION EXIST. 4" NATURAL GAS PIPELINE

EXXON-MOBILE PIPELINE & NORTHERN UTILITIES EASEMENTS

APPROXIMATE EX. GROUND (SEE NOTE 4)

15' VC

200' VC

150' VC

15' CULVERT

24' CULVERT

18' CULVERT

PVI STA = 2+00  
PVI ELEV = 375.99  
A.D. = -1.80  
K = 111.24

PVI STA = 4+00  
PVI ELEV = 378.39  
A.D. = -5.10  
K = 29.41

PVI STA = 5+50  
PVI ELEV = 387.84  
A.D. = -2.87  
K = 52.17

EVCS: 1+00  
BVCS: 372.99

EVCS: 3+00  
BVCS: 377.19

EVCS: 4+75  
BVCS: 383.12

EVCS: 6+25  
BVCS: 390.41

EVCS: 3+25  
BVCS: 377.49

EVCS: 4+25  
BVCS: 383.12

EVCS: 5+25  
BVCS: 387.57

EVCS: 6+75  
BVCS: 392.12

3.00%

1.20%

1.20%

6.30%

3.42%

ELEV  
00

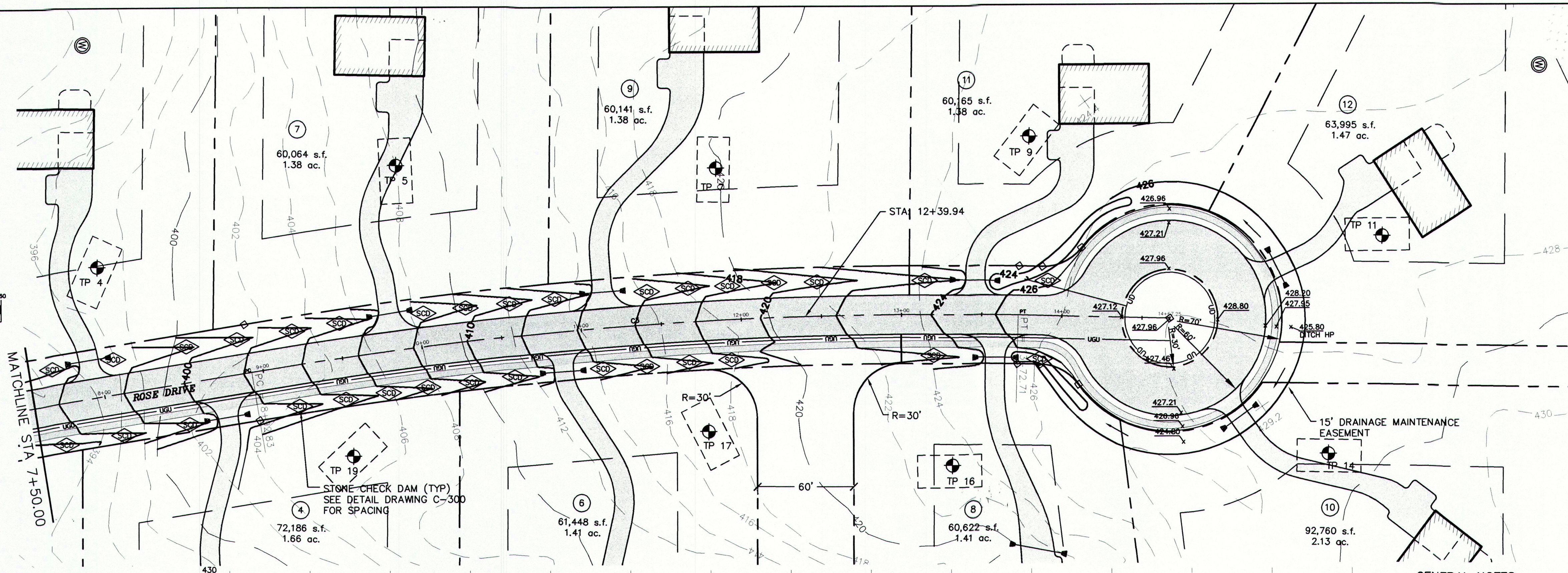
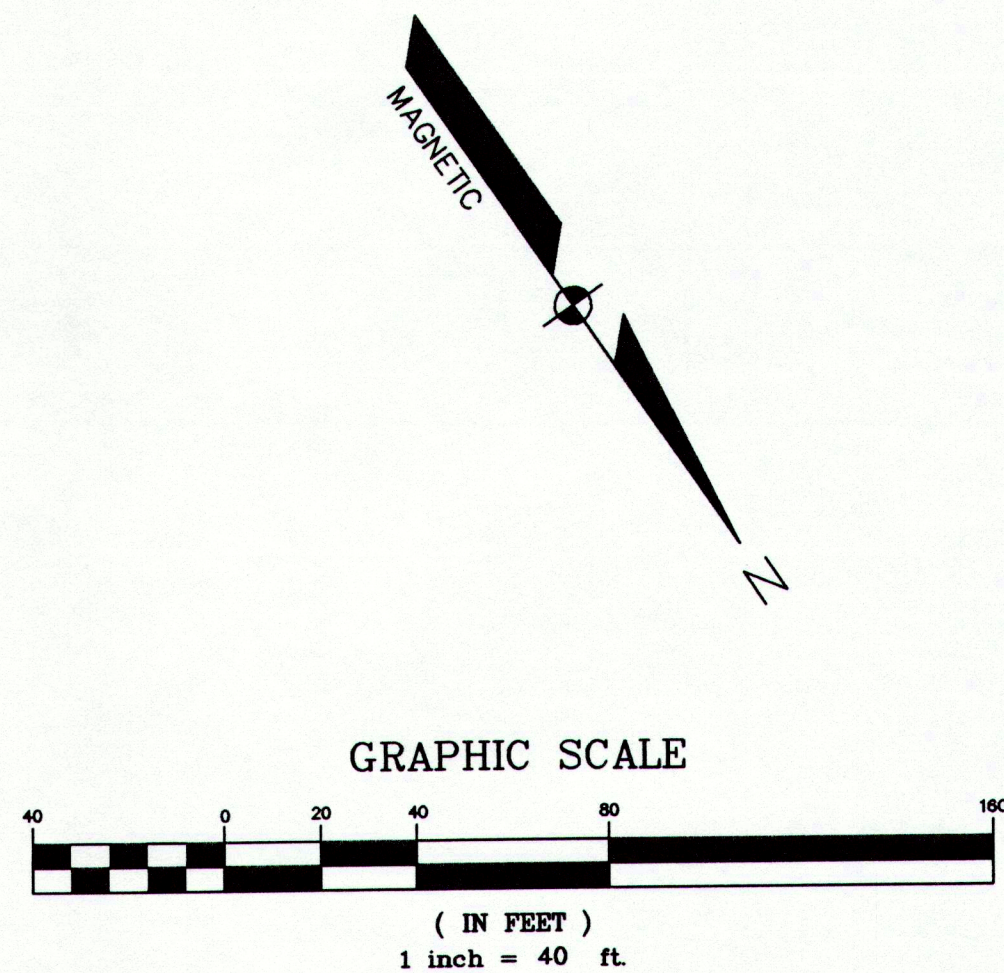
370.6  
371.1  
371.49  
371.2  
372.99  
375.8  
374.38  
378.5  
375.54  
378.1  
376.48  
376.6  
377.19  
376.6  
377.90  
376.7  
379.35  
381.7  
381.65  
384.5  
384.69  
387.0  
387.57  
388.2  
389.55  
390.6  
391.26  
393.4  
393.02  
393.8

0+00 1+00 2+00 3+00 4+00 5+00 6+00 7+00

STATE OF MAINE  
W.  
SCOTT  
DECKER  
#3994  
REGISTERED  
PROFESSIONAL ENGINEER  
9/10/04

	DESIGN: WSD		PROJECT: <b>ORCHARD RIDGE SUBDIVISION</b> ORCHARD ROAD, CUMBERLAND, MAINE	
	DRAWN: STAFF			
	CHKD: WSD			
			<b>PLAN &amp; PROFILE</b> <b>STA 0+00 - 7+50.00</b>	
	DATE: MAY 2004	PROJ. NO.	04-213.00	REV
	SCALE: AS NOTED	DWG. NO.	C-102	I

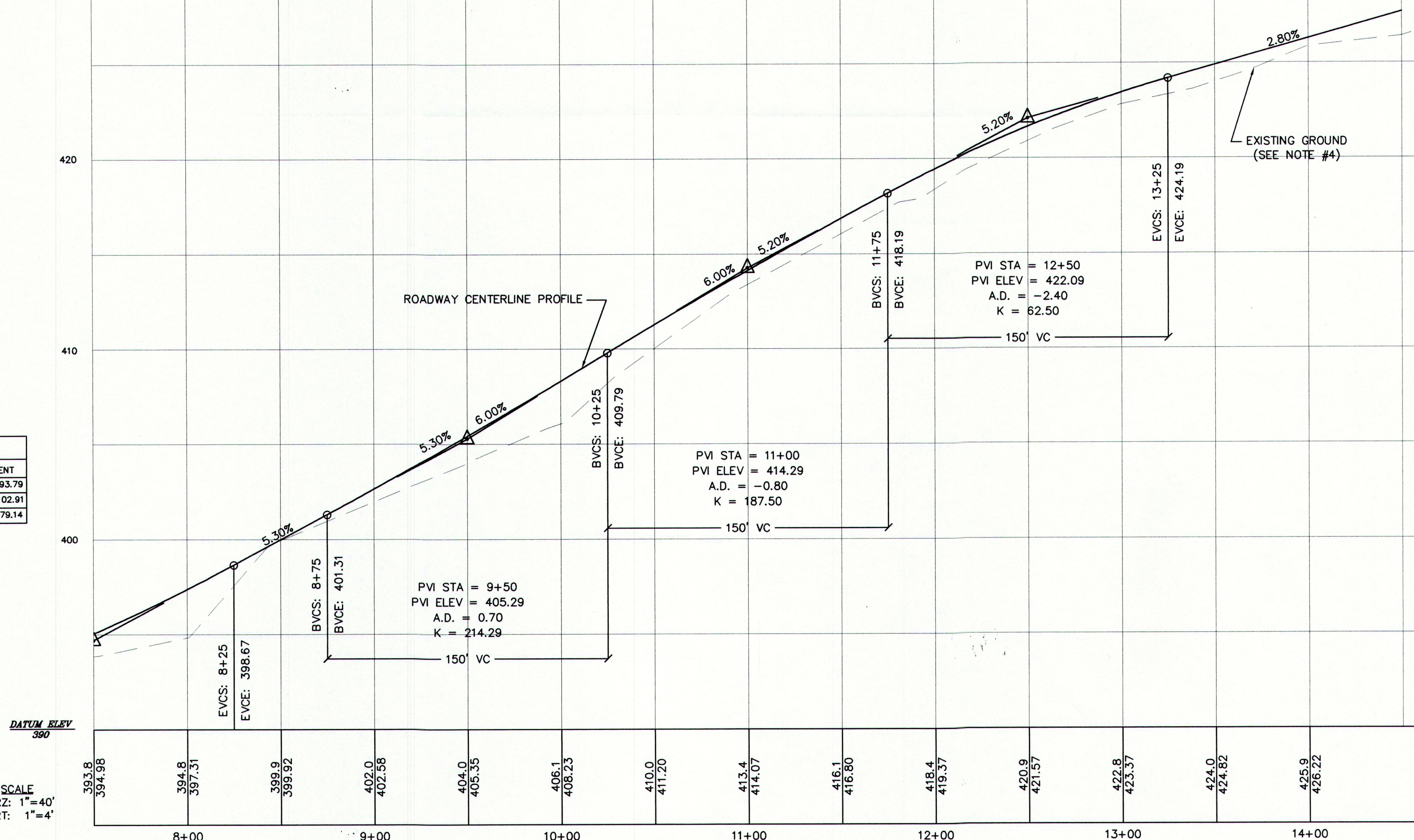




#### GENERAL NOTES:

- DATUM, HORIZONTAL DATUM BASED ON NAD 83, MAINE STATE PLANE, WEST ZONE. VERTICAL DATUM BASED ON "PROJECT BENCHMARK" IDENTIFIED ON NAVD 88.
- UTILITY INFORMATION SHOWN IS A COMPILATION OF BEST AVAILABLE PLAN INFORMATION AND FIELD OBSERVATION OF UTILITIES ABOVE GRADE. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THIS PLAN SHOULD BE USED FOR PLANNING PURPOSES ONLY. DIG SAFE SHOULD BE CONSULTED PRIOR TO ANY CONSTRUCTION.
- PLAN CONTOURS ARE BASED ON AERIAL PHOTOGRAPHY BY AERIAL SURVEY, INC. OF NORRIDGEWOCK, MAINE WITH GROUND CONTROL SURVEY BY TITCOMB ASSOCIATES OF FALMOUTH, MAINE.
- EXISTING GROUND PROFILE IS THE RESULT OF FIELD SURVEY BY TITCOMB ASSOCIATES, FALMOUTH, MAINE IN APRIL 2004.
- THE LOCATION OF DRIVEWAYS, DRIVEWAY CULVERTS, HOUSES AND SEPTIC SYSTEMS ON EACH LOT ARE SHOWN TO MERELY INDICATE A POSSIBILITY FOR THE DEVELOPMENT OF THE LOT. THE INDIVIDUAL LOT OWNER SHALL DETERMINE THE DEVELOPMENT LAYOUT OF HIS/HER LOT WHICH MUST BE APPROVED BY CUMBERLAND CODE ENFORCEMENT OFFICER BEFORE A BUILDING PERMIT WILL BE ISSUED. NO FILLING OF WETLANDS OTHER THAN AT THE LOCATIONS SHOWN WILL BE ALLOWED WITHOUT REGULATORY APPROVAL.
- DURING CONSTRUCTION, CONSTRUCTION MATERIAL WASTE MUST BE SEPARATED FROM HAZARDOUS WASTE MATERIAL, IF ANY, AND PLACED IN A STORAGE CONTAINER (DUMPSTER) TO BE HAULED AND PROPERLY DISPOSED OF BY THE HAULER AT AN APPROVED D.E.P. DISPOSAL SITE.
- CORRUGATED METAL PIPE IS UNACCEPTABLE FOR CULVERT MATERIAL. ADS, HANCOR OR SMOOTH BORE ARE ACCEPTABLE PROVIDED THAT BACKFILL AND COMPACTION MEET THE MANUFACTURER'S SPECIFICATIONS.

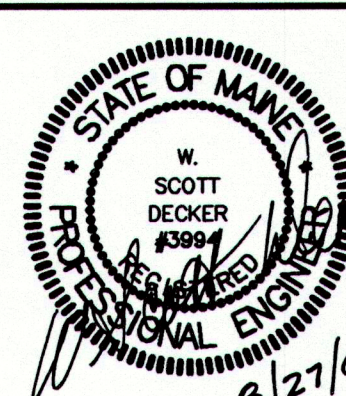
CURVE TABLE								
CURVE	PC STA	PT STA	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION	TANGENT
C1	0+82.82	1+78.21	95.39	150.00	36°26'06"	49.37	N65°32'12"W	93.79
C2	3+69.14	4+72.56	103.42	300.00	19°45'04"	52.23	S73°52'44"E	102.91
C3	8+92.83	13+72.71	479.87	2500.00	10°59'52"	240.68	S59°02'10"E	479.14



DATUM ELEV  
390

SCALE  
HORZ: 1"=40'  
VERT: 1"=4'

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.							
	E	8/31/04	GENERAL REVISIONS		JSD	WSD	WSD
	D	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL		AAH	WSD	WSD
	C	6/29/04	REVISED AND REISSUED TO TOWN		RST	WSD	WSD
	B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION		RST	WSD	WSD
	A	5/10/04	ISSUED TO CLIENT FOR PRICING		RST	WSD	WSD
NO.	REV.	DATE	STATUS	BY	CHKD	APPD	



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

DESIGN: CYN	PROJECT: ORCHARD RIDGE SUBDIVISION ORCHARD ROAD, CUMBERLAND, MAINE
DRAWN: CYN	
CHKD: WSD	
DATE: MAY 2004	PROJ. NO. 04-213.00
SCALE: AS NOTED	DWG. NO. C-103
	REV. E



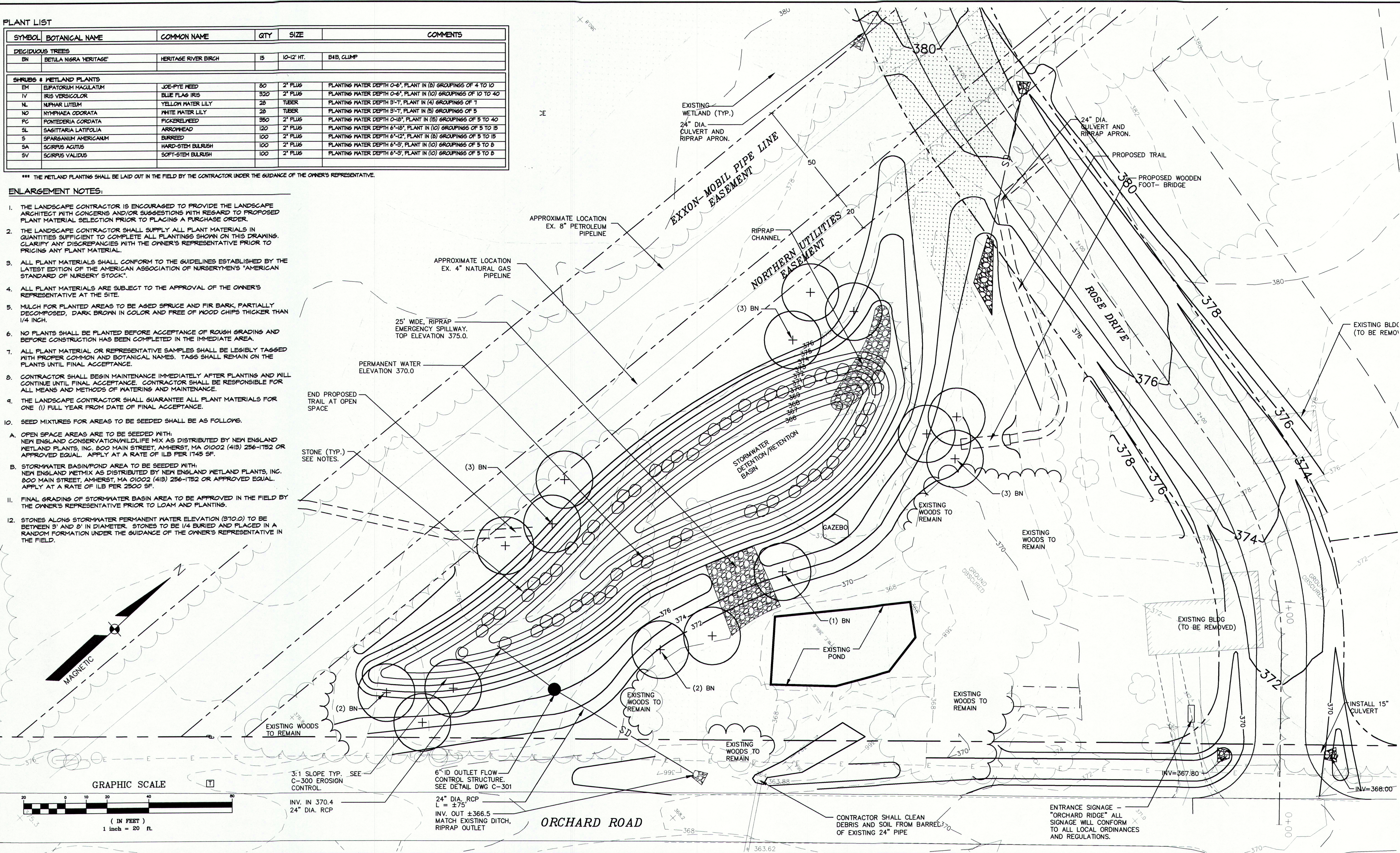
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	15	10-12' HT.	B&B, CLUMP
<b>SHRUBS &amp; WETLAND PLANTS</b>					
EM	EUPATORIUM MACULATUM	JOE-PYE WEED	80	2" PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (8) GROUPINGS OF 4 TO 10
IV	IRIS VERSICOLOR	BLUE FLAG IRIS	320	2" PLUG	PLANTING WATER DEPTH 0'-6", PLANT IN (10) GROUPINGS OF 10 TO 40
NL	NUFFAR LUTEUM	YELLOW WATER LILY	28	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (4) GROUPINGS OF 7
NO	NYMPHAEA ODORATA	WHITE WATER LILY	28	TUBER	PLANTING WATER DEPTH 3'-7", PLANT IN (8) GROUPINGS OF 5
PC	PONTEDERIA CORDATA	PICKERELWEED	360	2" PLUG	PLANTING WATER DEPTH 0'-18", PLANT IN (15) GROUPINGS OF 5 TO 40
SL	SAGITTARIA LATIFOLIA	ARROWHEAD	120	2" PLUG	PLANTING WATER DEPTH 6'-18", PLANT IN (10) GROUPINGS OF 5 TO 15
S	SPARGANUM AMERICANUM	BURREED	100	2" PLUG	PLANTING WATER DEPTH 6'-12", PLANT IN (8) GROUPINGS OF 5 TO 15
SA	SCIRPUS ACUTUS	HARD-STEM BULRUSH	100	2" PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8
SV	SCIRPUS VALIDUS	SOFT-STEM BULRUSH	100	2" PLUG	PLANTING WATER DEPTH 6'-3", PLANT IN (10) GROUPINGS OF 5 TO 8

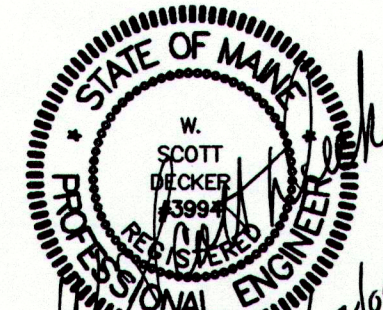
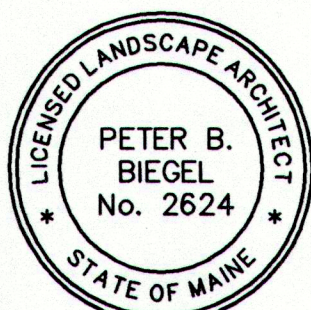
\*\*\* THE WETLAND PLANTING SHALL BE LAID OUT IN THE FIELD BY THE CONTRACTOR UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE.

ENLARGEMENT NOTES:

- THE LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARD TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE OWNER'S REPRESENTATIVE PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE.
- MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SEED MIXTURES FOR AREAS TO BE SEEDED SHALL BE AS FOLLOWS.
  - OPEN SPACE AREAS ARE TO BE SEEDED WITH: NEW ENGLAND CONSERVATION/WILDLIFE MIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1152 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 1745 SF.
  - STORMWATER BASIN/POND AREA TO BE SEEDED WITH: NEW ENGLAND WETMIX AS DISTRIBUTED BY NEW ENGLAND WETLAND PLANTS, INC. 800 MAIN STREET, AMHERST, MA 01002 (413) 256-1152 OR APPROVED EQUAL. APPLY AT A RATE OF 1LB PER 2500 SF.
- FINAL GRADING OF STORMWATER BASIN AREA TO BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE PRIOR TO LOAM AND PLANTING.
- STONES ALONG STORMWATER PERMANENT WATER ELEVATION (370.0) TO BE BETWEEN 3" AND 8" IN DIAMETER. STONES TO BE 1/4 BURIED AND PLACED IN A RANDOM FORMATION UNDER THE GUIDANCE OF THE OWNER'S REPRESENTATIVE IN THE FIELD.



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
Phone: (207) 829-6994 Fax: (207) 829-2251 Email: info@sytdesign.com

CLIENT: **ORCHARD RIDGE, LLC**  
269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD/AAH/PBB	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: RST/AAH/PBB	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	LANDSCAPE PLAN
PROJECT DIR.	DATE: MAY 2004	PROJ. NO. 04-213.00
DRAWING NAME	SCALE: 1"=20'	DWG. NO. C-104
04-21300-C-104		REV. D



EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS

Temporary erosion and sedimentation control measures include the use of stabilized construction entrance, sediment barrier, erosion control mix, stone check dams, hay bale barriers, catch basin inlet barriers, catch basin sediment collection bags, erosion control blanket, and temporary seeding and mulching as required. Permanent devices include the use of riprap at exposed storm drain and culvert inlets and outlets, riprapped slopes, and permanent vegetation.

A. GENERAL

- It is anticipated that construction will begin as soon as possible following receipt of necessary permits. (Fall of 2004)
- If applicable, the project shall conform to the standards of the Maine Construction General Permit.
- All soil erosion and sediment control measures shall be constructed and maintained in accordance with the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices published by the Cumberland County Soil and Water Conservation District and the Department of Environmental Protection, May 2003, or as currently revised.
- Any additional erosion and sedimentation control deemed necessary by the Owner's Representative, Department of Environmental Protection (DEP) personnel and/or municipal officials shall be installed by the Contractor.
- The Contractor is responsible for all fines resulting from erosion or sedimentation from the site to surrounding properties, waterbodies, or wetlands as a result of this project.
- The Contractor shall be responsible for the repair/replacement/maintenance of all erosion control measures until all disturbed areas are stabilized to the satisfaction of the above personnel. Descriptions of acceptable permanent stabilization for various cover types follows:
  - For seeded areas, permanent stabilization means a 90% cover of the disturbed area with mature, healthy plants with no evidence of washing or rilling of the topsoil.
  - For sodded areas, permanent stabilization means the complete binding of the sod roots into the underlying soil with no slumping of the sod or die-off.
  - For mulched areas, permanent mulching means total coverage of the exposed area with an approved mulch material. Erosion control mix may be used as mulch for permanent stabilization according to the approved application rates and limitations.
  - For areas stabilized with riprap, permanent stabilization means that slopes stabilized with riprap have an appropriate backing of a well-graded gravel or approved geotextile to prevent soil movement from behind the riprap. Stone must be sized appropriately.
  - Paved areas. For paved areas, permanent stabilization means the placement of the compacted gravel subbase is completed.
  - For open channels, permanent stabilization means the channel is stabilized with mature vegetation at least three inches in height, with well-graded riprap, or with another non-erosive lining capable of withstanding the anticipated flow velocities and flow depths without reliance on check dams to slow flow. There must be no evidence of slumping of the lining, undercutting of the banks, or down cutting of the channel.

B. EROSION AND SEDIMENTATION CONTROL MEASURES

- Prior to the beginning of construction, the stabilized construction entrance and temporary silt fence shall be installed as shown on the plans or as directed by the Owner's Representative. It is the intent that sediment barriers be installed down gradient of all disturbed areas of the site. Sediment barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs will be made immediately. Sediment deposits shall be periodically removed from the upstream side of the sediment barriers. This sediment will be spread and stabilized in areas of the site not subject to erosion. Sediment barriers shall be replaced as necessary to provide proper filtering action. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind them, they will be replaced with a temporary crushed stone check dam.
- All catch basins, new or existing, that may receive runoff from disturbed areas must be protected during construction.
- Removal of sod, trees, bushes and other vegetation and soil disturbance will be kept to a minimum while allowing proper site development.
- Grubbings and any unusable topsoil shall be stripped and removed from the project site and disposed of in an approved manner.
- Any suitable topsoil will be stripped and stockpiled for reuse in final grading. Topsoil will be stockpiled in a manner such that natural drainage is not obstructed and no off-site sediment damage will result. If a stockpile is necessary, the side slopes of the topsoil stockpile will not exceed 2:1. Topsoil stockpiles will be temporarily seeded with Aroostook rye, annual or perennial ryegrass within 7 days of formation, or temporarily mulched if seeding cannot be done within the recommended seeding dates.
- Temporary diversion berms and drainage swales shall be constructed as necessary.
- Temporary stabilization shall be conducted within 7 days of initial disturbance of soils, prior to any rain event, and prior to any work shut down lasting more than one day. Temporary stabilization includes seed, mulch, or other non-erodible cover.
- Apply hay or straw mulch at a rate of 2 tons per acre, and anchor as necessary.
- Temporary seeding specifications. Where the seedbed has been compacted by construction operations, loosen soil to a depth of 4 inches before applying fertilizer, lime, and seed. Apply limestone at a rate of 3 tons per acre (138 lb per 1,000 square feet) and 10-10-10 (N-P205-K20) fertilizer at a rate of 600 lbs per acre (13.8 lb per 1,000 square feet). Uniformly apply seed at the recommended seeding rates and dates, apply hay or straw mulch at a rate of 2 tons per acre, and anchor as necessary.

Recommended temporary seeding dates and application rates are as follows:

Aroostook Rye:	Recommended Seeding Dates: 8/15 - 10/1 Application Rate: 112 lbs/acre
Annual Ryegrass:	Recommended Seeding Dates: 4/1 - 7/1 Application Rate: 40 lbs/acre
Perennial Ryegrass:	Recommended Seeding Dates: 8/15 - 9/15 Application Rate: 40 lbs/acre

10. If the area will remain unworked for more than one year or has been brought to final grade, and will not be built on, then immediately provide permanent stabilization using vegetation through planting, seeding, sod, or through the use of permanent mulch or riprap. If using vegetation for stabilization, select the proper vegetation for the light, moisture, and soil conditions. Amend areas of disturbed subsoil with top soil or other organic amendments, protect seeded areas with mulch or, if necessary erosion control blankets, and schedule sodding, planting, and seeding so to avoid die-off from summer drought and fall frosts. Newly seeded or sodded areas must be protected from vehicle traffic, excessive pedestrian traffic, and concentrated runoff until the vegetation is well established. Areas must be reworked and restabilized if germination is sparse, plant coverage is spotty, or topsoil erosion is evident.

11. Permanent seeding specification. If a Landscape plan has been prepared for the project, soil preparation and seeding of that plan shall supercede these general permanent seeding specifications. It is recommended that permanent seeding be completed between April 1 and August 15 of each year. Late season seeding may be done between August 15 and September 15. Areas not seeded or which do not obtain a satisfactory growth by October 1 shall be seeded with Aroostook Rye or mulched at rates previously specified. See winter conditions notes for seeding stabilization after November 1.

- Apply topsoil to a minimum depth of 6 inches. Mix topsoil with the subsoil to a minimum depth of 6 inches.
- Apply limestone and fertilizer according to soil tests. In lieu of soil tests, apply ground limestone at a rate of 3 tons per acre (138 lb per 1,000 square feet) and granular, commercial-grade, 10-10-10 (N-P205-K20) fertilizer at a rate of 800 lbs per acre (18.4 lbs per 1,000 square feet).
- Uniformly apply seed mixture at the recommended seeding rates and dates, apply hay or straw mulch at a rate of 2 tons per acres, and anchor as necessary.
- The seed mixture for lawn areas shall consist of seeds proportioned by weight as follows:
  - 30% Creeping Red Fescue
  - 60% Kentucky Bluegrass
  - 10% Perennial Ryegrass
- The seed mixture for wet areas shall consist of seeds proportioned by weight as follows:
  - 50% Reed Canarygrass
  - 25% Red Top
  - 15% Creeping Red Fescue
  - 10% Perennial Ryegrass

12. Mulch all areas seeded so that soil is not visible through the mulch regardless of the application rate.

13. Ditch linings, stone check dams, and riprap inlet and outlet protection shall be installed within 48 hours of completing the grading of that section of ditch or installation of culvert.

14. Riprap required at culverts and storm drain inlets and outlets shall consist of field stone or rough unhewn quarry stone of approximately rectangular shape. Stones shall weigh from 10 lbs. to 200 lbs. and approximately 50% of the stones by volume shall exceed a unit weight of 50 lbs.

15. Erosion control blanket shall be installed on all permanent slopes steeper than 3:1, in the base of ditches not otherwise protected, and any disturbed areas within 100 feet of a protected natural resource (e.g. wetlands and waterbodies). Erosion control blanket shall be installed in accordance with manufacturer's recommendations.

16. Temporary control measures, such as silt fence, shall be removed within 30 days after permanent stabilization is attained.

C. WINTER CONDITIONS

"Winter construction" is construction activity performed during the period from November 1 through April 15. If areas within the construction activity are not stabilized with temporary or permanent measures outlined above by November 15, then the site must be protected with additional stabilization measures that are specific to winter conditions. No more than one acre of the site may be without stabilization at one time.

- Areas within 100 feet of a protected natural resource must be protected with a double row of sediment barriers.
- Hay mulch shall be applied at twice the standard temporary stabilization rate. At the end of each construction day, areas that have been brought to final grade must be stabilized. Mulch may not be spread on top of snow.
- After November 1 or the first killing frost for the region and before snow fall, all exposed and disturbed areas not to undergo further disturbance are to have dormant seeding. The dormant seeding method: prepare the seedbed, lime and fertilize, apply the selected permanent seed mixture at double the regular seeding rate, and mulch and anchor. Dormant seedings need to be anchored extremely well on slopes, ditch bases and areas of concentrated flows. Dormant seeding requires inspection and reseeded as needed in the spring. All areas where cover is inadequate must be immediately reseeded and mulched as soon as possible.

5. All vegetated ditch lines that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate stone lining backed by an appropriate gravel bed or geotextile unless specifically released from this standard by the Maine Department of Environmental Protection.

7. Mulch netting must be used to anchor mulch on all slopes greater than 8% unless erosion control blankets or erosion control mix is being used on these slopes.

D. HOUSEKEEPING

1. Groundwater protection. During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography and other relevant factors, accumulates runoff that infiltrates into the soil. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials.

2. Fugitive sediment and dust. Actions must be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil may not be used for dust control.

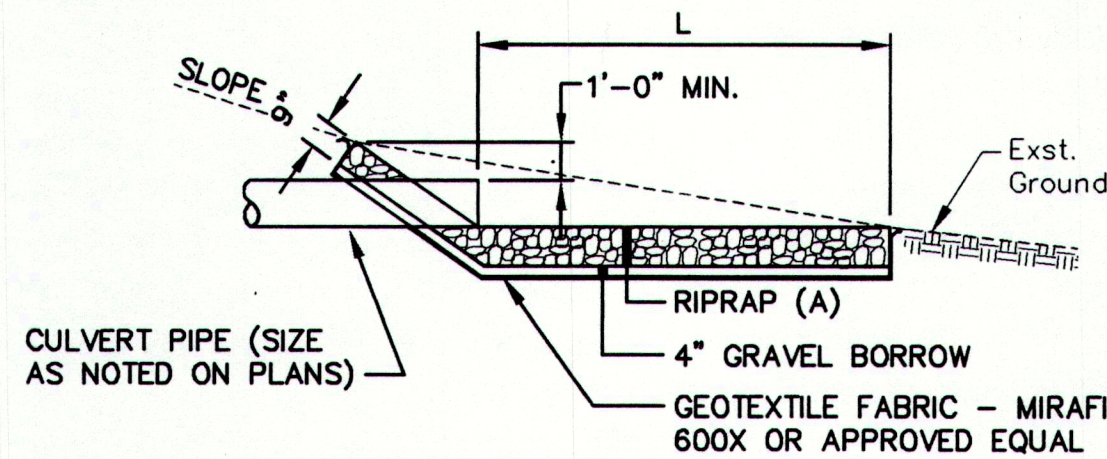
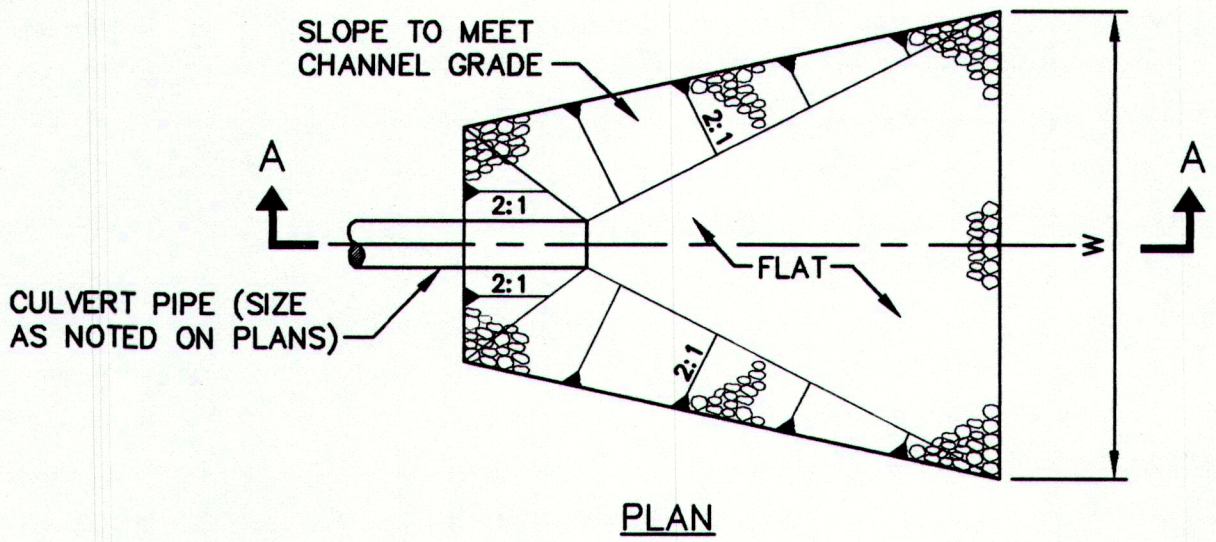
3. Debris and other material. Litter, construction debris, and construction chemicals exposed to stormwater, must be prevented from becoming a pollutant source.

4. Trench or foundation de-watering. Trench de-watering is the removal of water from trenches, foundations, coffer dams, ponds and other areas within the construction area that retain water after excavation. In most cases the collected water is heavily silted and hinders correct and safe construction practices. The collected water removed from the ponded area, either through gravity or pumping, must be spread through natural wooded buffers or remote areas that are specifically designated to collect the maximum amount of sediment possible, like a coffer dam sedimentation basin. Avoid allowing the water to flow over disturbed areas of the site.

E. INSPECTION AND MAINTENANCE

1. Inspect disturbed and impervious areas, erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the site at least once a week and before and after storm events, prior to completion of permanent stabilization. A person with knowledge of erosion and stormwater controls, including the standards in the Maine Construction General Permit and any DEP or municipal companion documents, must conduct the inspection. This person must be identified in the inspection log. If Best Management Practices (BMPs) need to be modified if additional BMPs are necessary, implementation must be completed within 7 calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition until areas are permanently stabilized.

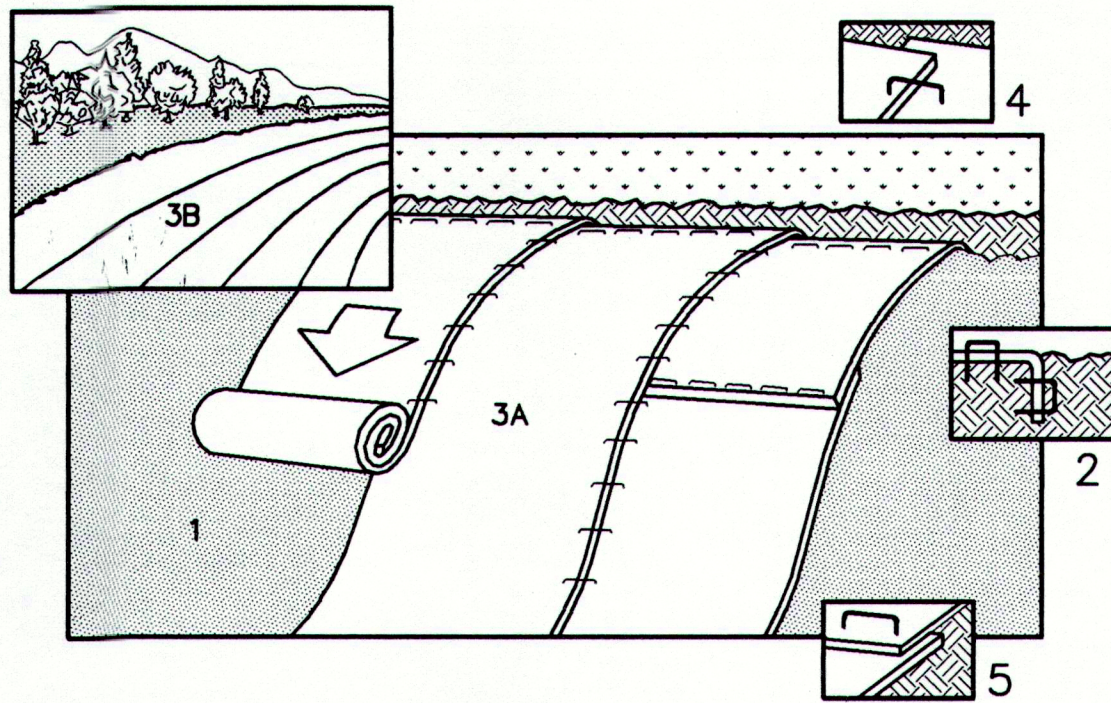
2. An inspection and maintenance log must be kept summarizing the scope of the inspection, name and qualifications of the person performing the inspection, date, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include: BMPs that need to be maintained, location(s) of BMPs that failed to operate as designed or proved inadequate for a particular location, and location(s) where additional BMPs are needed that did not exist at the time of the inspection. Follow-up to correct deficiencies or enhance controls must also be indicated in the log and dated, including what action was taken and when.



SECTION A-A  
RIPRAP INLET/OUTLET PROTECTION  
N.T.S.

DIAMETER	L	W	A	D <sub>50</sub>
12"	6'	4'	8"	3" ***
15"	6'	4'	12"	4"
18"	22'	6'	20"	10"

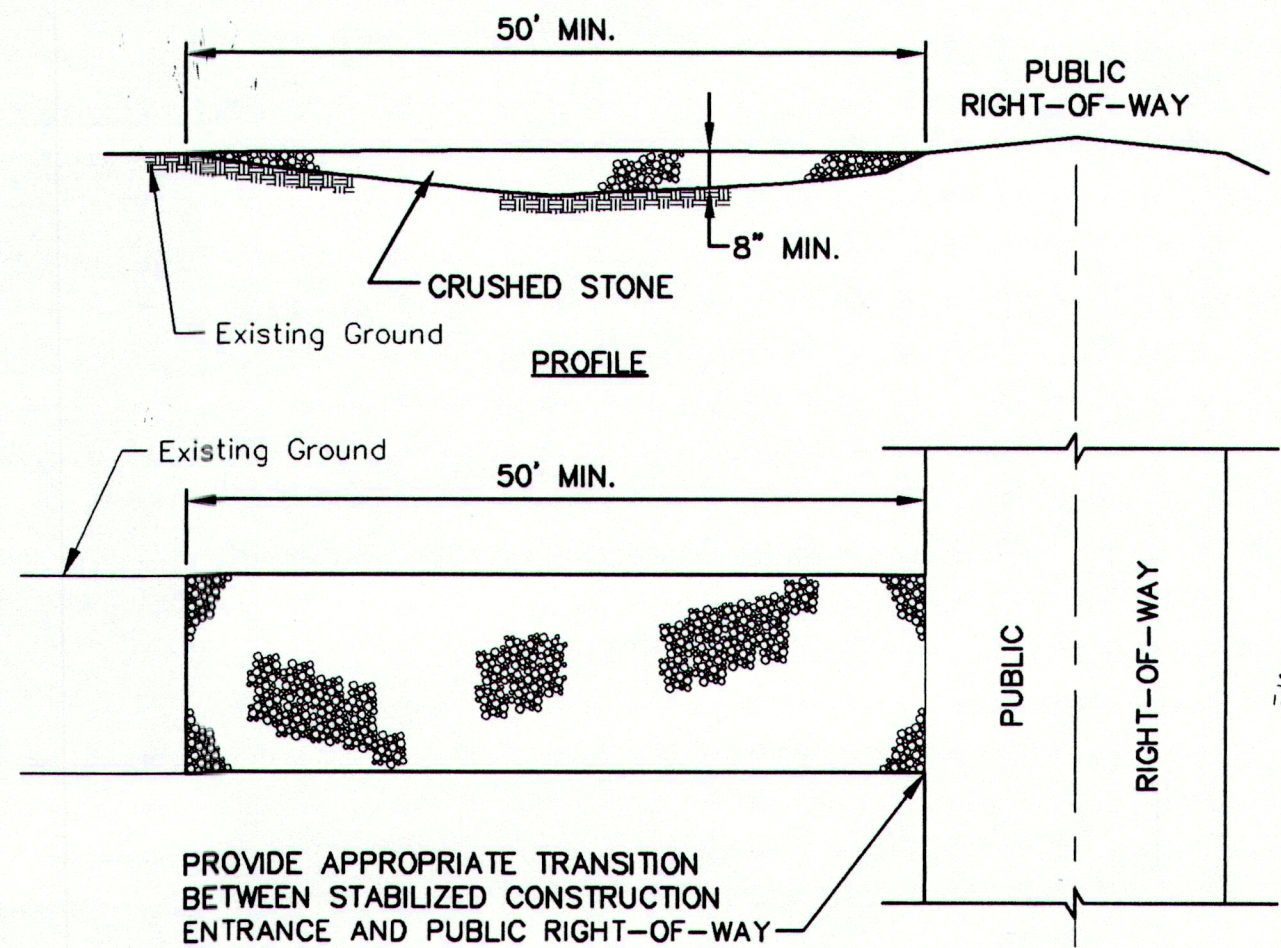
\*\*\* RIPRAP USED FOR THE DETENTION POND OUTLET SHALL BE D<sub>50</sub> = 9".



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

EROSION CONTROL BLANKET  
(SLOPE INSTALLATION)  
N.T.S.

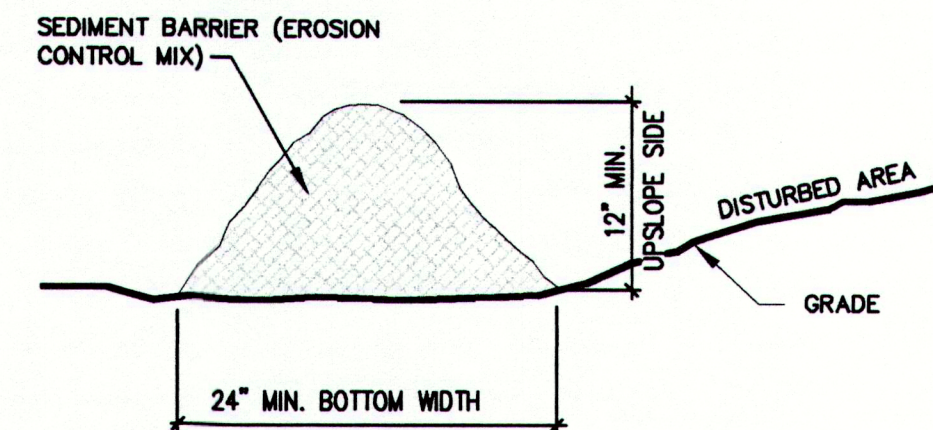


- CONSTRUCTION SPECIFICATIONS:
- STONE SIZE - AASHTO DESIGNATION M 43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
  - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC REPAIR AND TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.

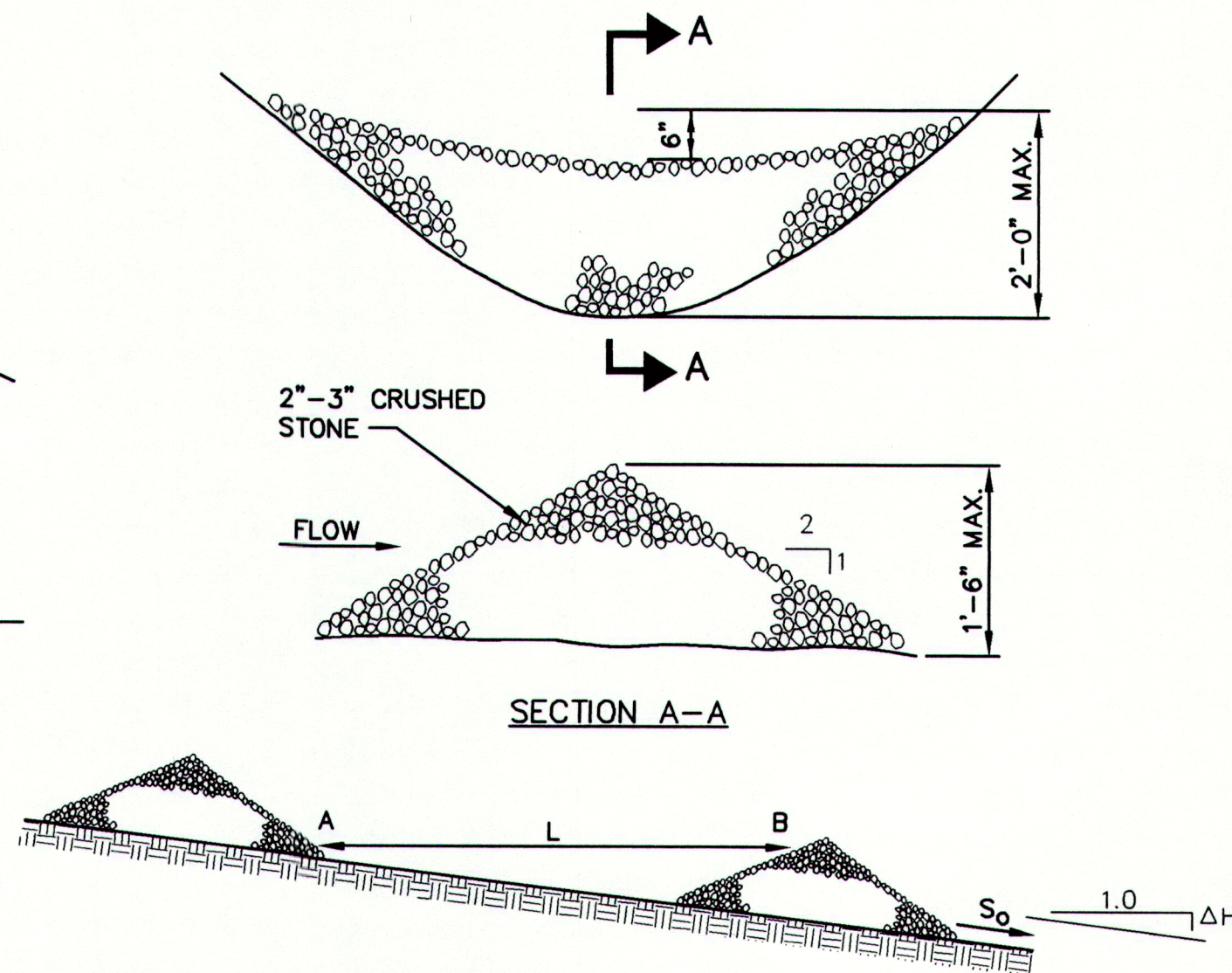
NOTES:

- THE EROSION CONTROL MIX SHALL CONTAIN A WELL GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
- PLACE BARRIER ALONG A RELATIVELY FLAT CONTOUR. CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES WHERE FINES CAN WASH UNDER THE BARRIER THROUGH GRASS BLADES AND BRANCHES.
- PLACEMENT OF BARRIER SHOULD BE:
  - AT TOE OF THE SLOPE.
  - FROZEN GROUND, BEDROCK OR ROOTED FORESTED AREAS.
  - THE EDGE OF GRAVEL AND AREAS UNDER CONSTRUCTION.
- REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- WHEN BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NECESSARY.



SEDIMENT BARRIER (EROSION CONTROL MIX)  
SCALE: N.T.S.

- THE MIX COMPOSITION SHALL MEET THE FOLLOWING STANDARDS:
- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 20 AND 100%, DRY WEIGHT BASIS.
  - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MAXIMUM OF 85% PASSING A 0.75" SCREEN.
  - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
  - LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.
  - SOLUBLE SALTS CONTENT SHALL BE <4.0 MMHOS/CM.
  - THE pH SHOULD FALL BETWEEN 5.0 AND 8.0.



NOTE: L = THE DISTANCE SUCH THAT POINTS 'A' AND 'B' ARE OF EQUAL ELEVATION.

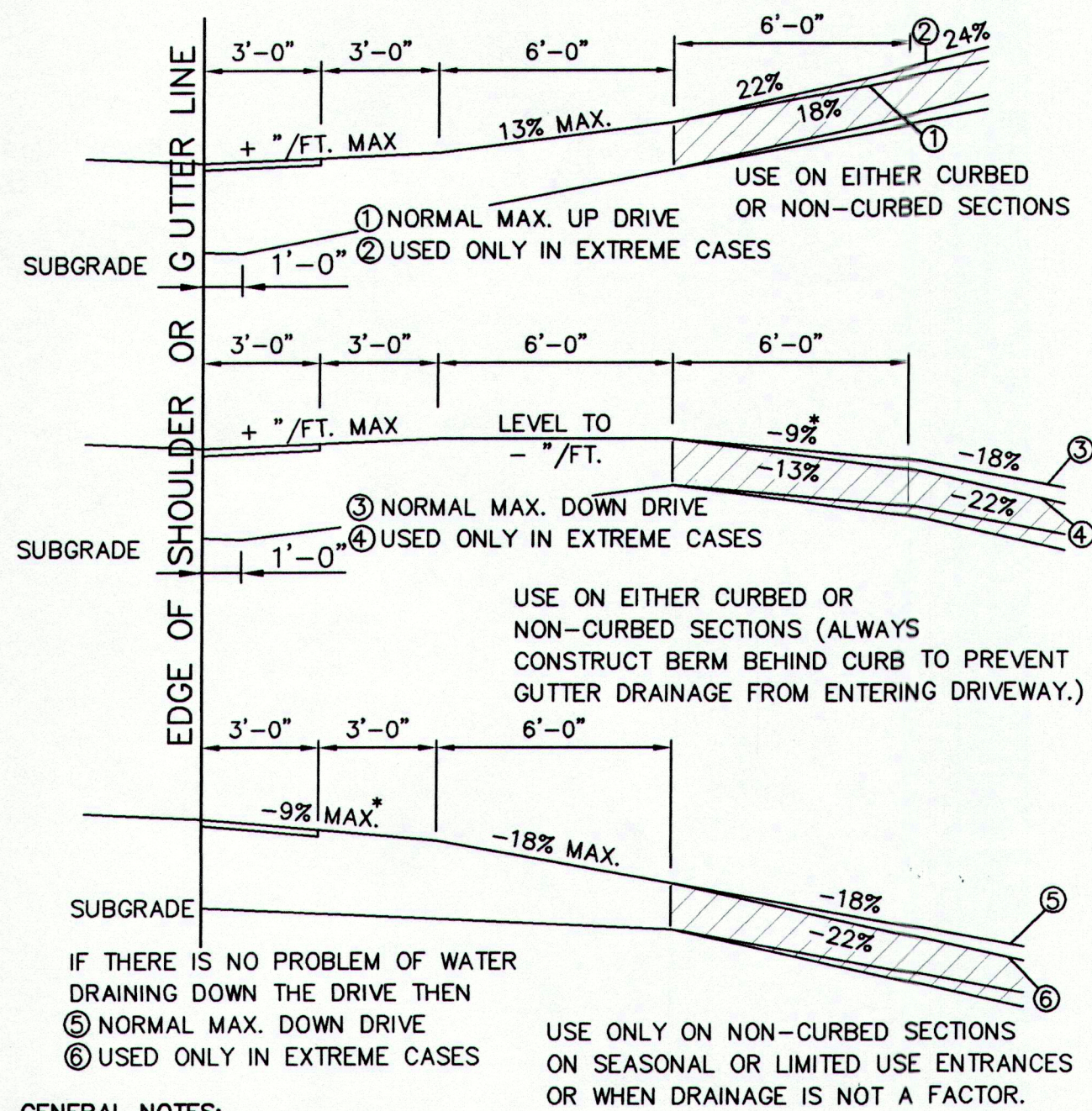
So (FT./FT.)	L (FT.)
0.020	75
0.030	50
0.040	40
0.050	30
0.060	20
0.100	10

STONE CHECK DAM DETAIL  
N.T.S.



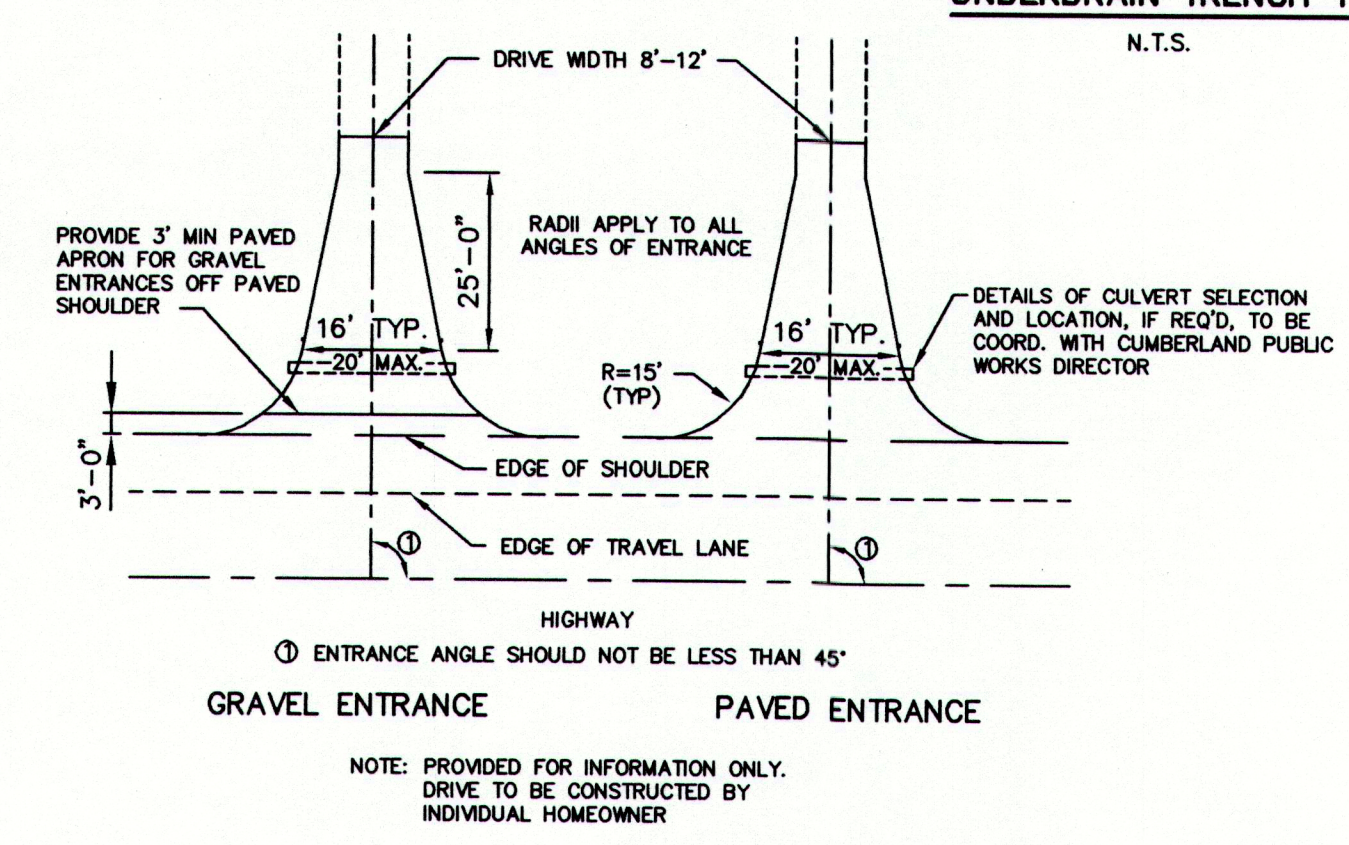
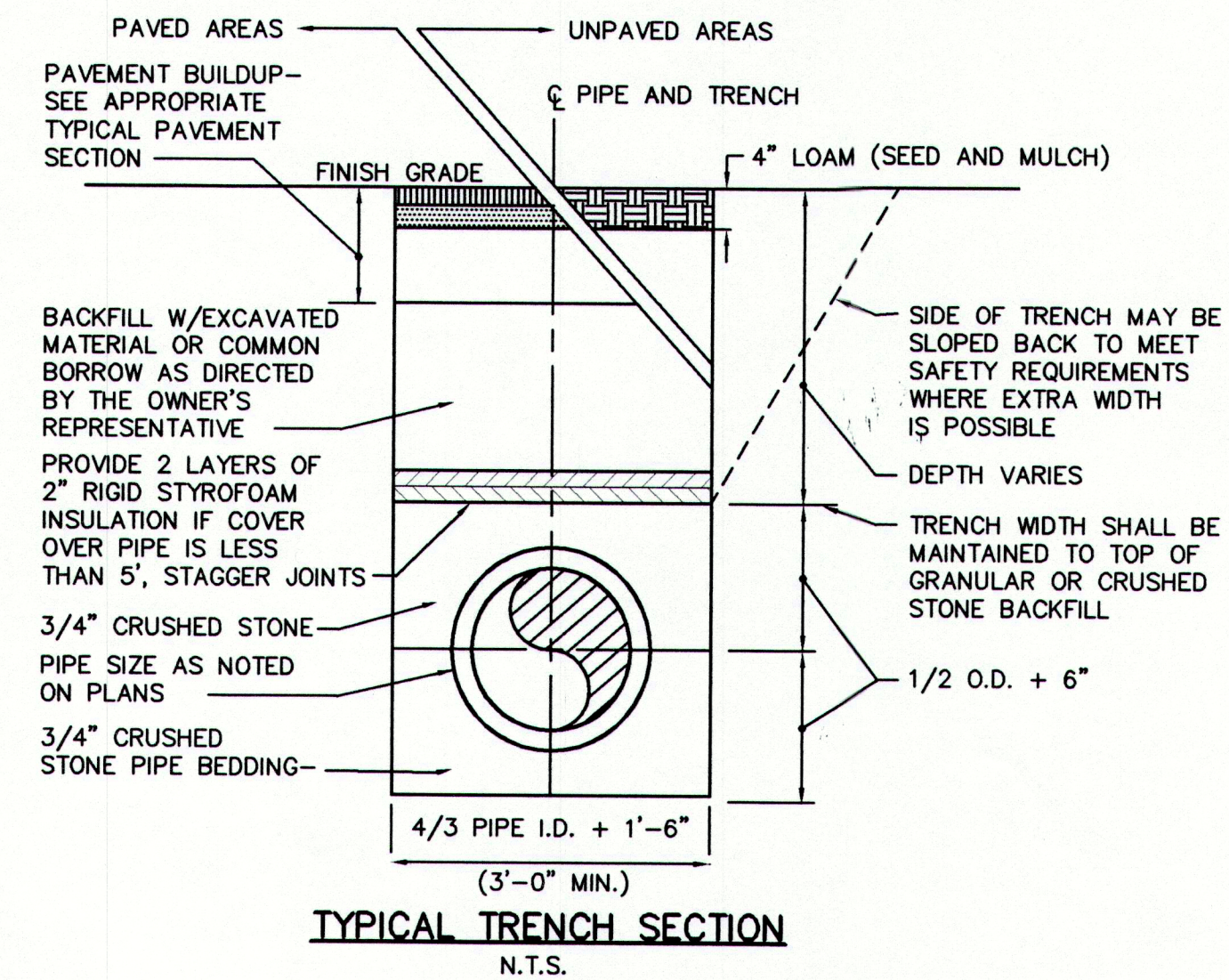
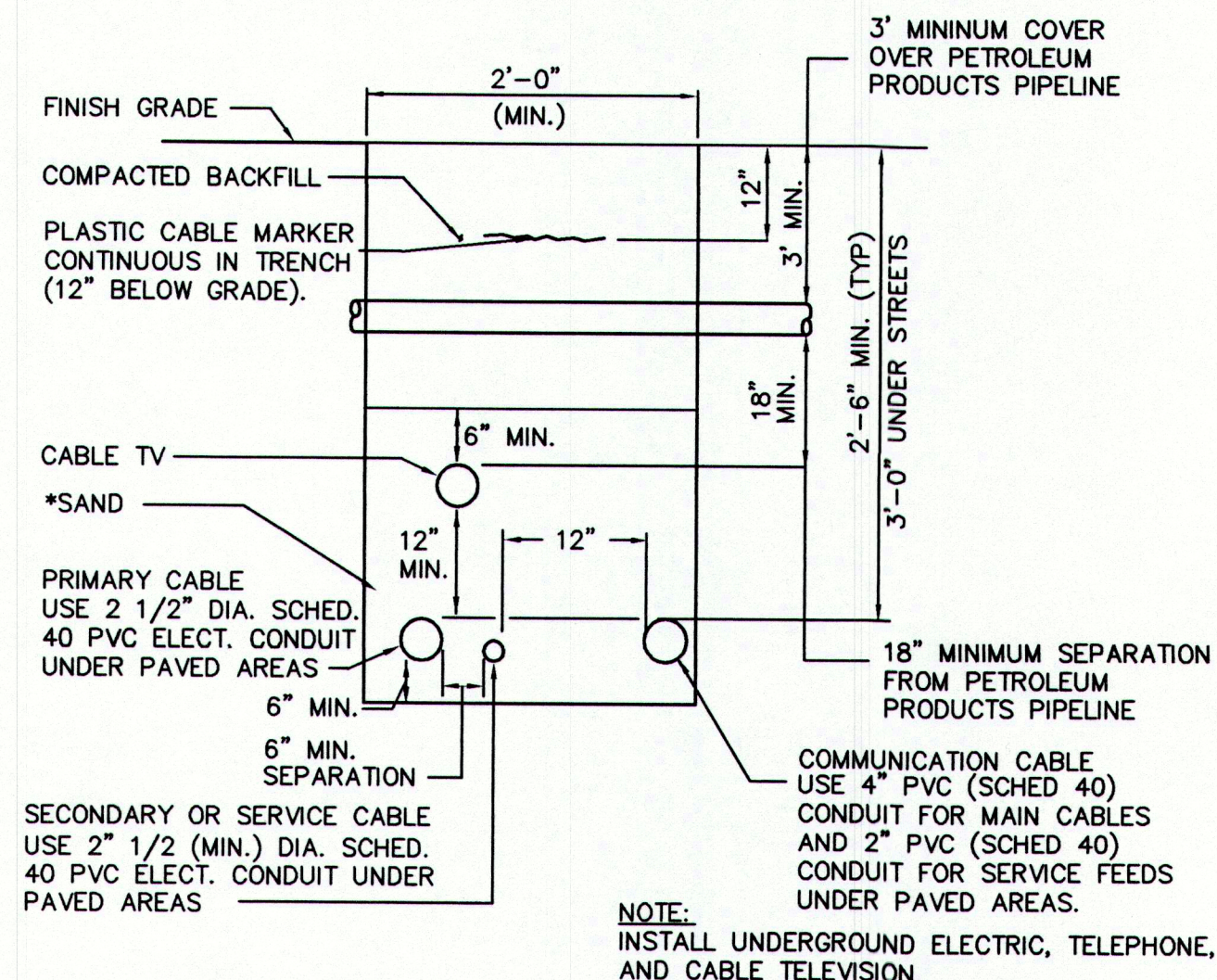
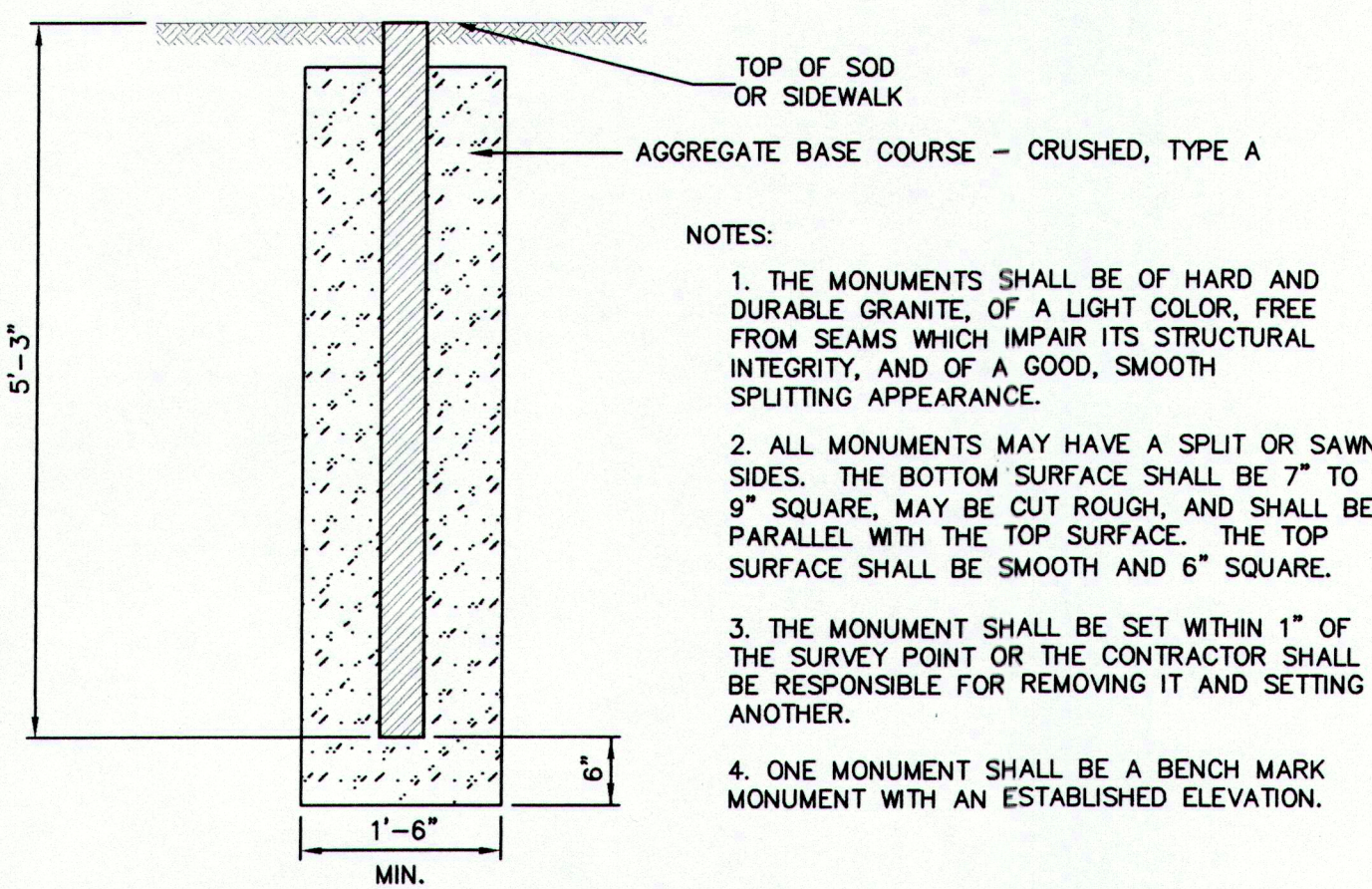
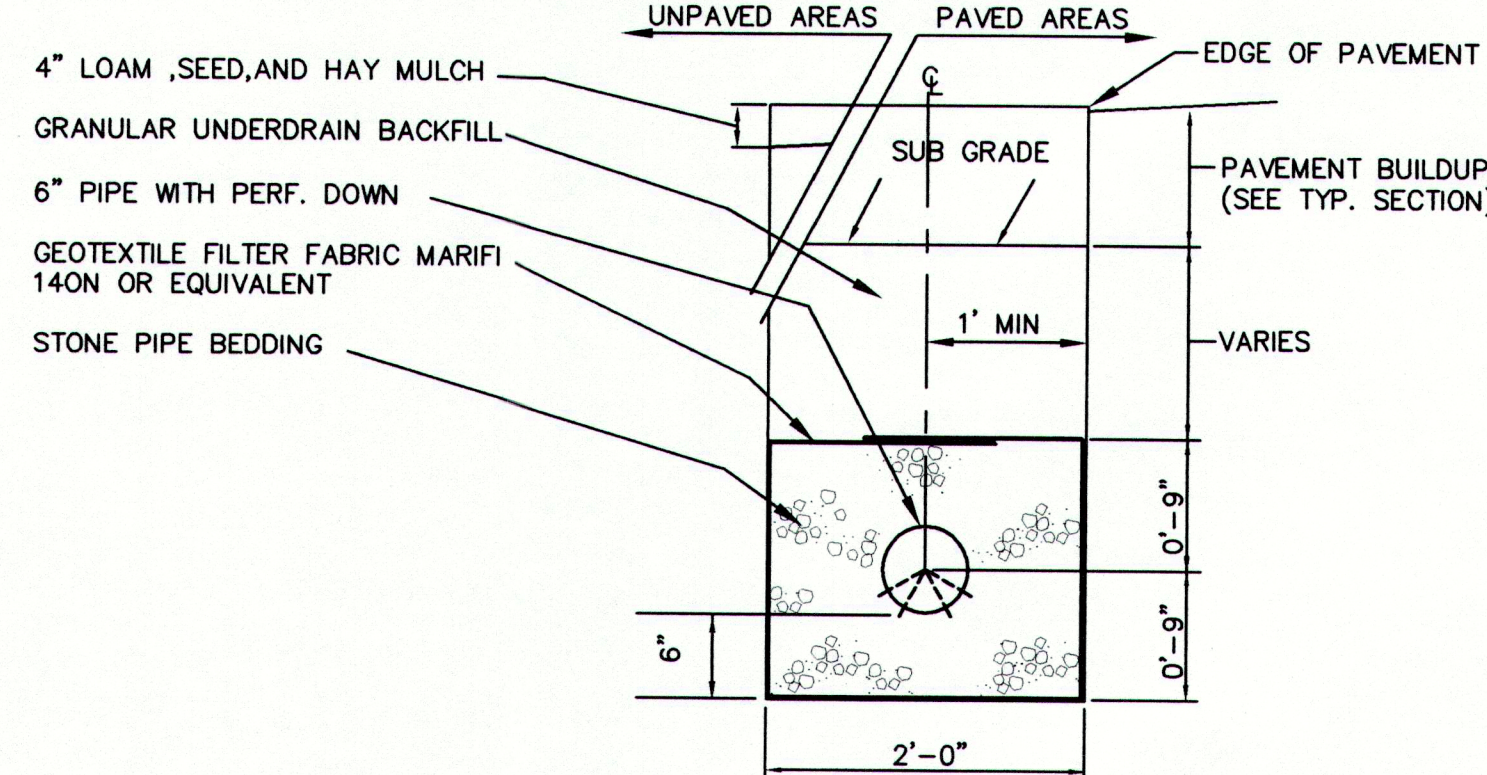
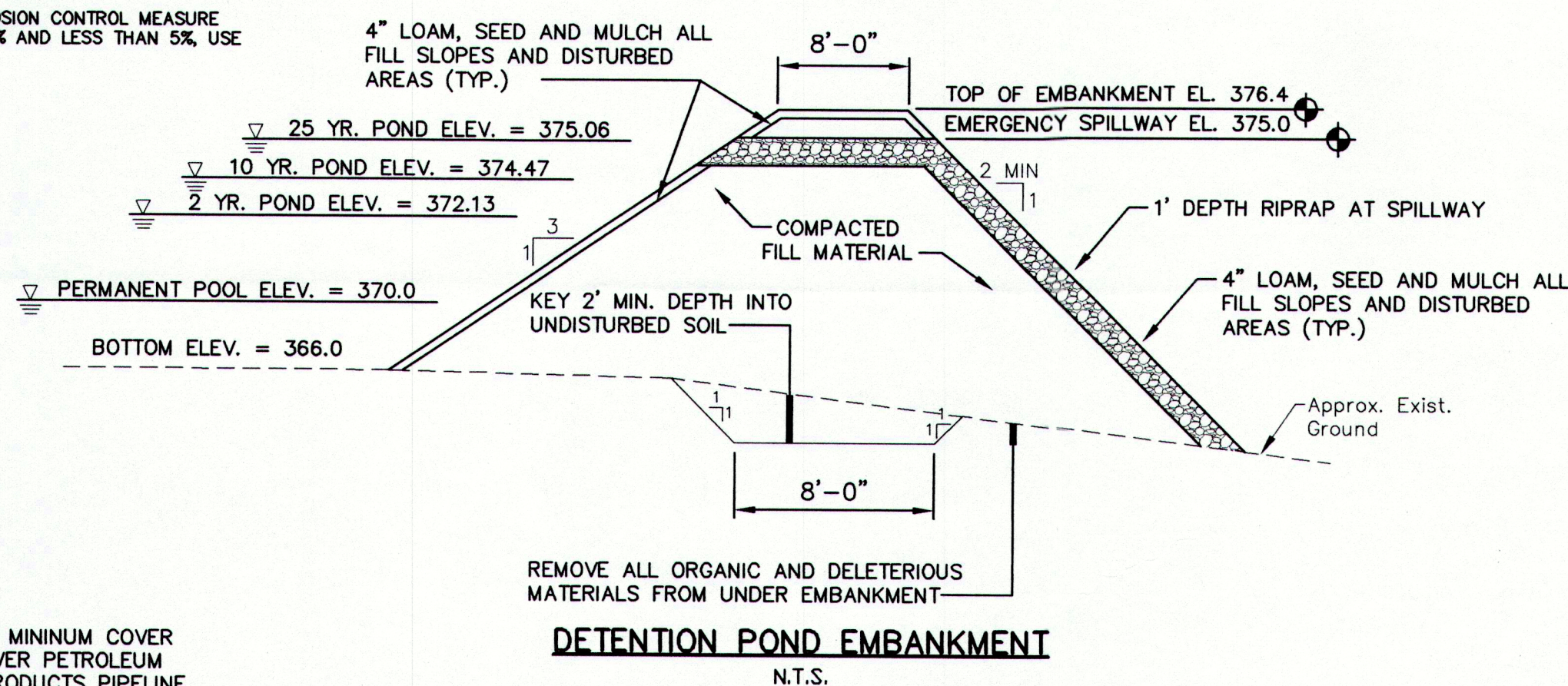
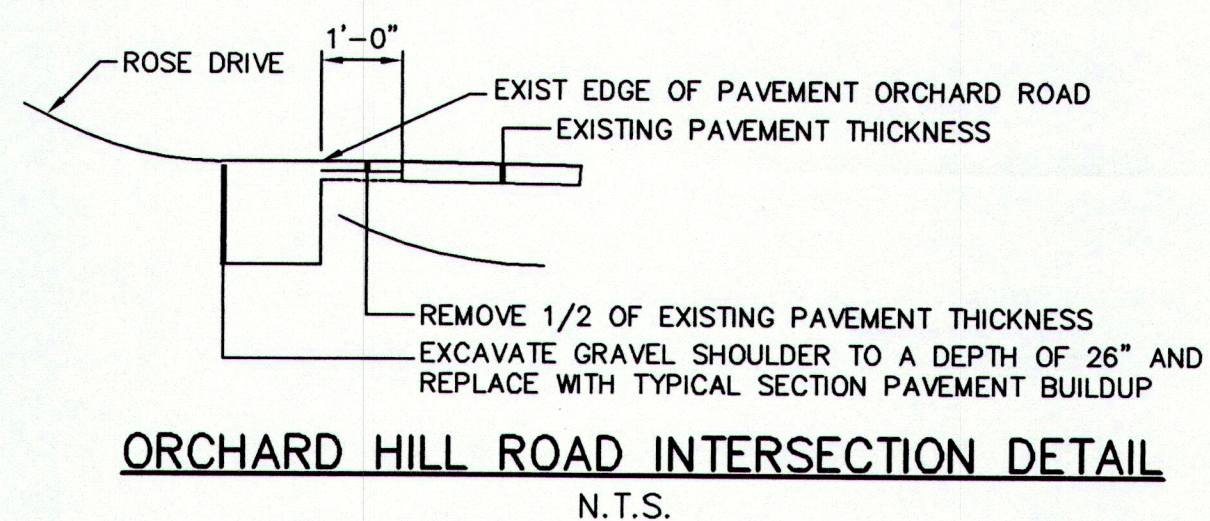
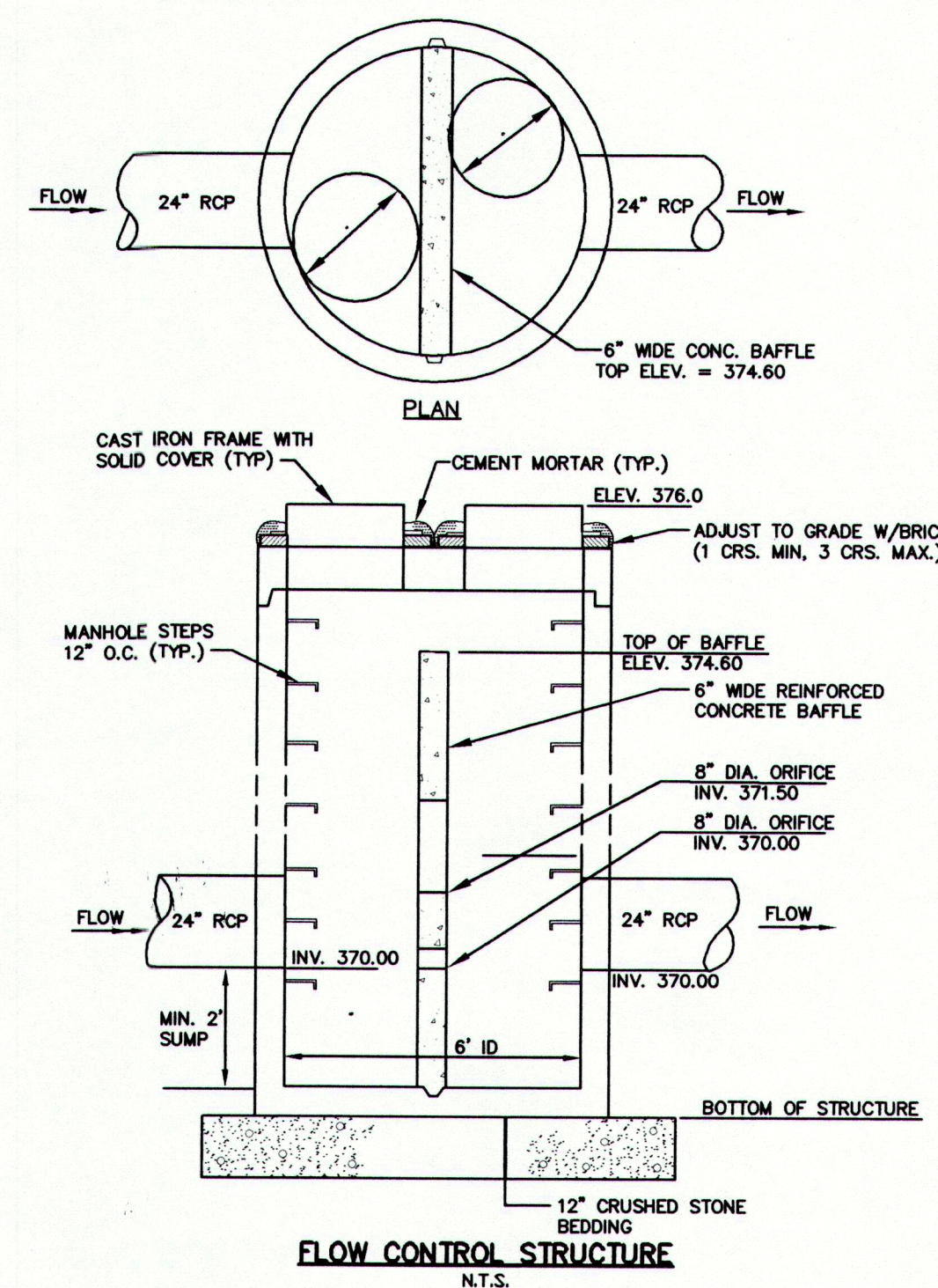
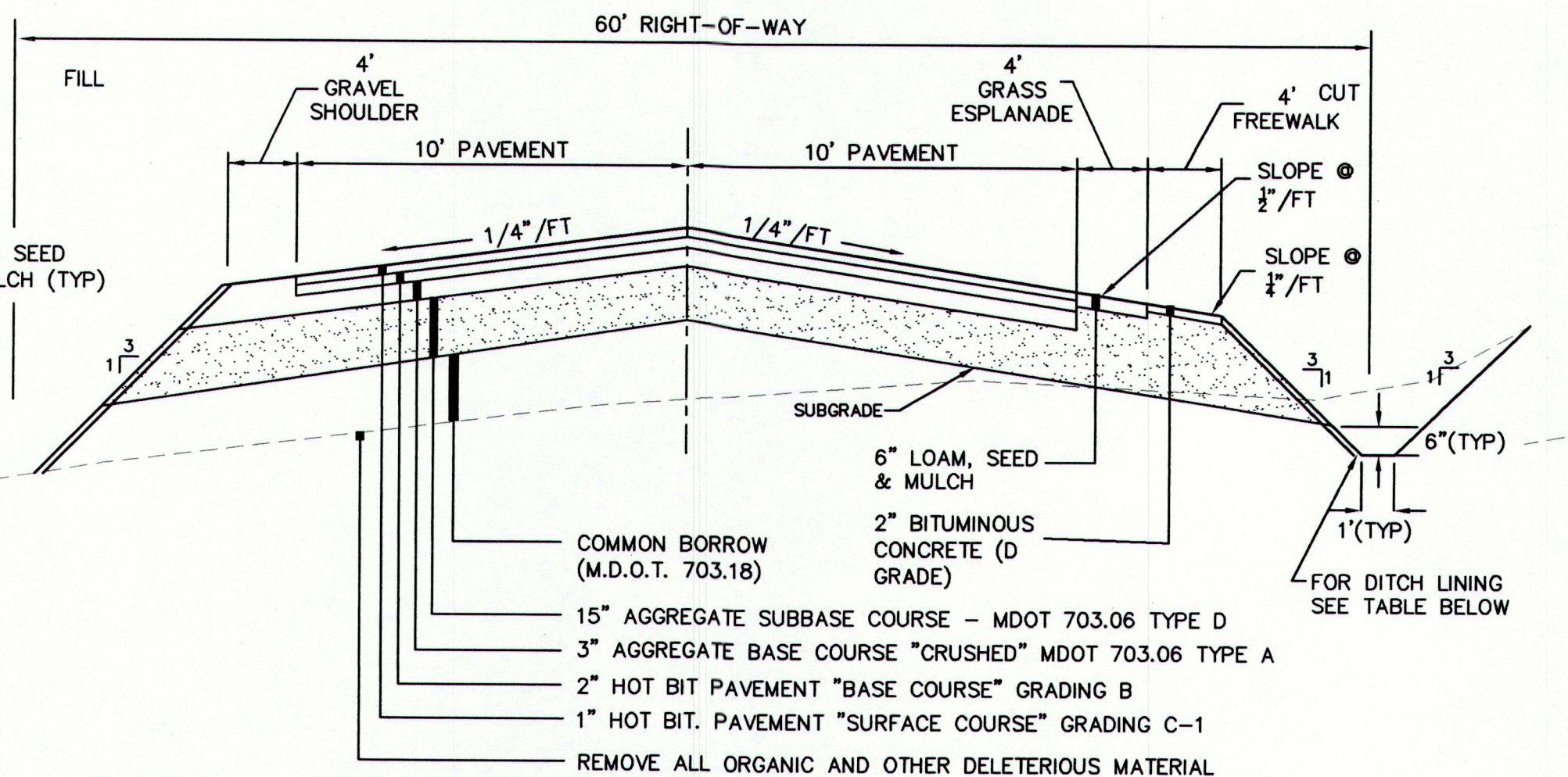






#### GENERAL NOTES:

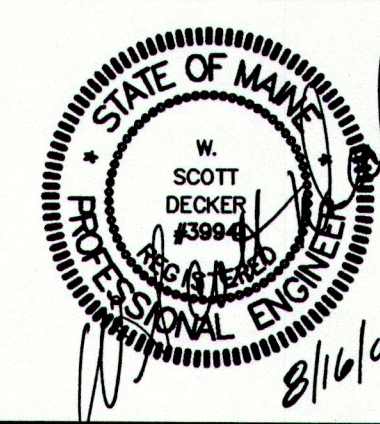
- THE FIRST 3' SHOWN AS PAVEMENT SHOULD BE PAVED ONLY WHEN ABUTTING A PAVED AREA.
  - ALL RESIDENTIAL DRIVES 10% AND OVER SHOULD BE PAVED.
- NOTES ON MAXIMUM DRIVEWAY PROFILES:**
- THESE PROFILES ARE A GUIDE FOR THE MAJORITY OF CASES, BUT SHOULD BE FIELD CHECKED WHEN THE MAIN LINE GRADE IS STEEP (4% TO 6% OR GREATER) OR THE ANGLE OF APPROACH TO THE DRIVE IS UNUSUAL.
  - GENERALLY THE MAJORITY OF DRIVES ON A PROJECT WILL BE BUILT WITH FLATTER PROFILES THAN THESE MAXIMUM CASES.
  - WHEN GRADING DRIVES WHICH ARE FLATTER THAN THE MAXIMUM PROFILES THE FOLLOWING RULE OF THUMB SHOULD BE USED: DO NOT EXCEED A GRADE % CHANGE OF MORE THAN 9% IN A 6 FOOT INCREMENT OF DRIVEWAY LENGTH. THIS APPLIES TO BOTH UP AND DOWN PROFILES.



#### GENERAL NOTES:

- TRAFFIC CONTROL STOP SIGNS, PAINTED STOP BARS, AND STREET SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- UNDERGROUND ELECTRIC, TELEPHONE, AND CABLE SERVICE TO BE INSTALLED PER UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL PERMITS AND REGULATIONS GOVERNING THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL VERIFY THE ACTUAL FIELD LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND COMPLY WITH THE REGULATIONS OF THE RESPECTIVE UTILITIES WHEN WORKING IN PROXIMITY TO THE UTILITY PLANT.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT AREAS OUTSIDE THE AREAS TO BE DISTURBED. DAMAGED AREAS SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR BETTER.
- CAST-IN-PLACE CONCRETE STRUCTURES SHALL BE 3,000 PSI CONCRETE.
- ALL DISTURBED AREAS NOT DESIGNATED OTHERWISE SHALL BE TREATED WITH 4" OF LOAM, FERTILIZER, LIME, SEED, AND MULCH.
- OWNERS REPRESENTATIVE WILL PROVIDE SURVEY BASELINE CONTROL ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION LAYOUT.
- OWNERS REPRESENTATIVE MUST DIRECT ANY WORK BEING DONE WITHIN THE DRIP LINE OF TREES THAT ARE TO REMAIN, TO MINIMIZE DISTURBANCE.
- EXACT LOCATIONS OF INDIVIDUAL LOTS ELECTRIC TRANSFORMERS, TELEPHONE SERVICE, AND CABLE SERVICE TO BE DETERMINED FOLLOWING COORDINATION WITH THE RESPECTIVE UTILITY.
- ELECTRIC INSTALLATION TO CONFORM WITH CENTRAL MAINE POWERS CONTRACTORS HANDBOOK FOR ELECTRIC SERVICE AND METER INSTALLATIONS. CMP WILL DESIGN SYSTEM LAYOUT FOLLOWING REGULATORY APPROVAL OF THE SUBDIVISION DRAWINGS.
- PRIMARY CABLE TO BE EXTENDED AS NECESSARY TO LIMIT CMP OWNED SECONDARY SERVICES TO 150 FEET OR LESS.
- CENTRAL MAINE POWER RECOMMENDS THAT ALL CABLES BE INSTALLED IN APPROPRIATELY SIZED CONDUIT. HOWEVER, ALL CABLE SHALL BE IN CONDUIT UNDER ALL PAVED AREAS, ROADWAYS, AND DRIVEWAYS.
- TRANSFORMER FOUNDATIONS - SEE ILLUSTRATION #19 IN THE CONTRACTORS HANDBOOK.
- NO BLASTING IS PERMITTED ON PROJECT WITHOUT APPROVAL OF EXXON-MOBILE PIPELINES ENGINEERING DEPARTMENT AND NORTHERN UTILITIES.
- NO EXCAVATIONS SHALL BE MADE ON LAND ADJACENT TO THE PIPELINES WHICH WILL IN ANY WAY IMPAIR OR WITHDRAW THE LATERAL SUPPORT OR WHICH WILL CAUSE ANY SUBSIDENCE OR DAMAGE TO THE PIPELINES.
- PRIOR TO ANY WORK IN THE VICINITY OF THE EXXON-MOBILE PIPELINE COMPANY ASSETS, CONTRACTOR MUST CONTACT THE EXXON-MOBILE AREA SUPERVISOR MIKE DICENSO AT (207) 767-1999 A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
- PRIOR TO ANY WORK IN THE VICINITY OF THE NORTHERN UTILITIES PIPELINE ASSETS, CONTRACTOR MUST CONTACT THE NORTHERN UTILITIES SUPERVISOR RICK BELLEMAIRE AT (207) 797-8002 A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DGS AND PROPER NOTIFICATION OF ALL UTILITY COMPANIES, AND SHALL CONFORM TO ALL FEDERAL, AND STATE REGULATIONS IN CONNECTION WITH CONSTRUCTION ACTIVITIES IN THE VICINITY OF UNDERGROUND UTILITIES. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE RESIDENTIAL STRUCTURE ON EACH LOT MUST HAVE AN NFPA APPROVED SPRINKLER SYSTEM.

H	8/12/04	REVISED ELEVATIONS OF DETENTION POND EMBANKMENT	AAH	TWS	TWS
G	7/27/04	REVISED AND SUBMITTED TO TOWN FOR FINAL APPROVAL	AAH	TWS	TWS
F	7/27/04	SUBMITTED TO MDEP AND TO TOWN FOR FINAL APPROVAL	AAH	WSD	WSD
E	7/12/04	REVISED DWG # AND REISSUED TO CCSWCD	AAH	WSD	WSD
D	8/29/04	REVISED AND REISSUED TO TOWN	JSD	WSD	WSD
C	5/27/04	GENERAL REVISIONS TO STORMWATER DETAILS	RST	WSD	WSD
B	5/25/04	ISSUED WITH PRELIMINARY SUBDIVISION APPLICATION SUBMISSION	RST	WSD	WSD
A	5/10/04	ISSUED TO CLIENT FOR PRICING			
NO.		REFERENCE DRAWINGS	REV.	DATE	STATUS
			BY	CHKD	APPD



**SYTDesign Consultants**  
CIVIL ENGINEERS & LAND SURVEYORS

P.O. BOX 86A, CUMBERLAND CENTER, ME. 04021  
 Phone: (207) 829-6994 Fax: (207) 829-2231 Email: info@sytdesign.com

CLIENT: ORCHARD RIDGE, LLC  
 269 BRUCE HILL ROAD, CUMBERLAND, MAINE 04021

FIELD BOOK #	DESIGN: WSD	PROJECT: ORCHARD RIDGE SUBDIVISION
FIELD BOOK PAGE	DRAWN: STAFF	ORCHARD ROAD, CUMBERLAND, MAINE
FLAT FILE INDEX NUMBER	CHKD: WSD	CIVIL DETAILS AND SECTIONS
PROJECT DIR.	DATE: MAY 2004	1 OF 1
DRAWING NAME	SCALE: AS NOTED	PROJ. NO. 04-213.00
04-21300-C300		DWG. NO. C-302
		REV. H