

# LOT LINE TABLE

LINE	LENGTH	BEARING
L2	50.00	N65°14'51"E
L3	27.06	S59°15'17"E
L4	27.06	N59°15'17"W

# EASEMENT TABLE

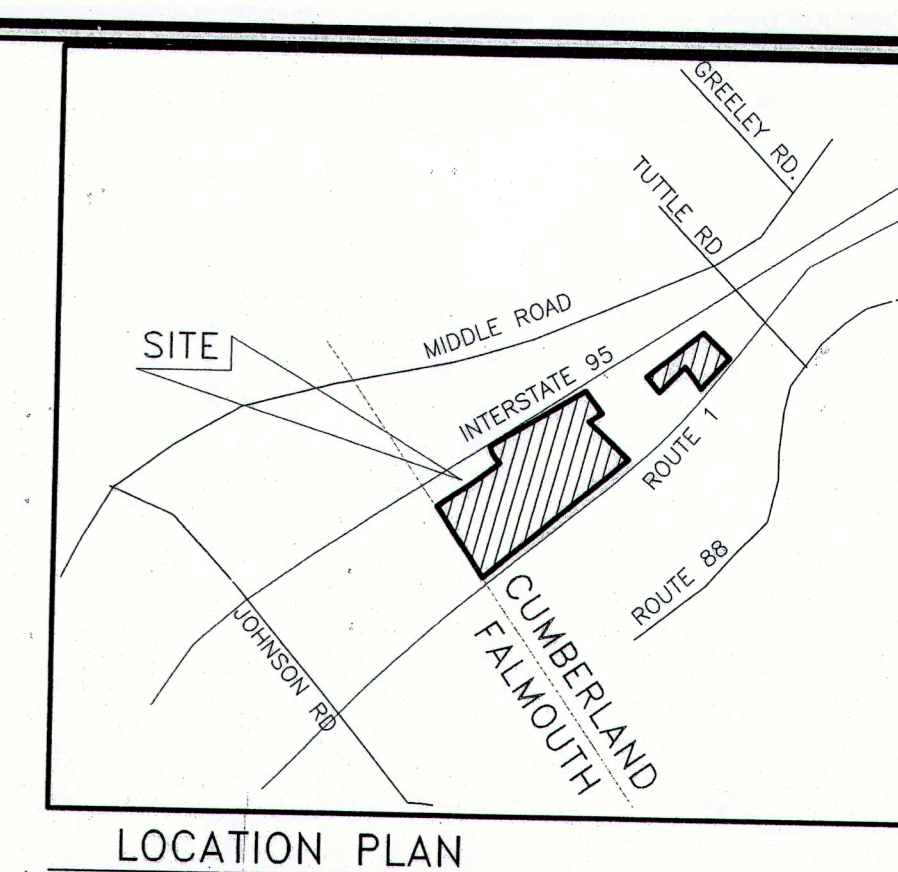
LINE	LENGTH	BEARING
E-L1	49.98	N84°10'10"E
E-L2	27.06	S59°15'17"E
E-L3	50.00	S30°44'43"W
E-L4	37.57	S84°10'10"W
E-L5	33.91	S84°10'10"W
E-L6	32.03	S30°44'43"W
E-L7	60.00	N31°42'16"W
E-L8	60.00	S80°06'31"W
E-L9	60.00	N58°40'48"W
E-L10	40.00	N48°11'29"W
E-L11	32.00	N08°03'52"W
E-L12	30.00	N48°15'26"E
E-L13	37.86	N44°53'07"E

CURVE	LENGTH	RADIUS
E-C1	89.81	1501.00
E-C2	44.89	166.00
E-C3	89.96	166.00
E-C4	120.04	356.00
E-C5	39.62	1691.00

# LEGEND

EXISTING	PROPOSED
EASEMENT	BUILDING SETBACK EASEMENT
WETLAND LIMIT	BUFFER
WETLAND	CMP TRANSFORMER EASEMENT
	BOUND TO BE SET
	IRON PIPE TO BE SET

INTERSTATE 295 NORTH



LOCATION PLAN

N.T.S.

PHASE 2  
REMAINING LAND  
34.43 Acres

COMMERCIAL/RETAIL  
LOT 1  
4.52 Acres

COMMERCIAL  
LOT 2  
2.39 Acres

COMMERCIAL  
LOT 3  
2.55 Acres

COMMERCIAL  
LOT 4  
2.95 Acres

COMMERCIAL  
LOT 5  
2.84 Acres

COMMERCIAL  
LOT 6  
remaining area=2.1Acres  
acquired area=2.1Acres  
total=2.31 Acres

Area to be  
conveyed to  
CUMBERLAND  
FORSIDE VILLAGE, LLC LOT  
106,099.58 SF

Area to be  
conveyed to  
CUMBERLAND  
FORSIDE VILLAGE, LLC LOT  
9,377 SF

U.S. ROUTE 1

PHASE 1: LOTS 1, 2, 3, 4, 5 & 6, 19.66 ACRES  
PHASE 2: REMAINING LAND, 34.43 ACRES

# PLAN REFERENCE

BOUNDARY INFORMATION TAKEN FROM "BOUNDARY PLAN, CUMBERLAND FORESIDE VILLAGE, U.S. ROUTE ONE, CUMBERLAND MAINE, MADE FOR CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, MAINE" BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, ME 04101, JUNE 07, 2006, REV. 3 01-08-07.

# ZONE INFORMATION

SPACE STANDARDS:	OFFICE COMMERCIAL CONTRACT ZONE	CONTRACT ZONE COMMERCIAL	CONTRACT ZONE ASSISTED LIVING	CONTRACT ZONE WAREHOUSE
MINIMUM LOT SIZE:	1 ACRE	10,000 S.F.	150 FEET	150 FEET
AGE RESTRICTED:	10,000 S.F.	75 FEET	25 FEET	25 FEET
MINIMUM FRONTAGE:	150 FEET	25 FEET	150 FEET	150 FEET
MINIMUM FRONT SETBACK:	25 FEET	25 FEET	50 FEET	25 FEET
MINIMUM SIDE SETBACK:	20 FEET	20 FEET	30 FEET	25 FEET
MINIMUM REAR SETBACK:	65 FEET	20 FEET	40 FEET	50 FEET
DISTANCE BETWEEN FOUNDATIONS OF PRINCIPAL STRUCTURES:	25 FEET	25 FEET	25 FEET	25 FEET

NOTES:

- IF WAREHOUSE FACILITIES ARE ADJACENT TO RESIDENTIAL PROPERTY, THE ABOVE MINIMUM SETBACKS SHALL BE INCREASED TO 60 FEET.
- SETBACKS SHOWN ON THE PHASE 2 REMAINING LAND IS FOR THE COMMERCIAL ZONE. SEE CHART FOR SETBACKS FOR DIFFERENT DEVELOPMENT.

# NOTE

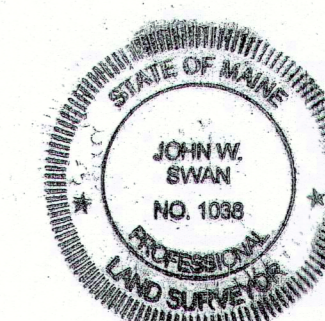
SEE SHEET C1.2 FINAL SUBDIVISION PLAN SHEET 2 FOR SPECIFIC CONDITIONS OF APPROVAL AND SUBDIVISION REQUIREMENTS

# CERTIFICATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

4/14/14  
DATE

JOHN W. SWAN, PLS NO. 1038



OWNER OF RECORD:  
CUMBERLAND FORESIDE VILLAGE, LLC  
50 GRAY ROAD, FALMOUTH, MAINE  
BOOK 23549 PAGE 231  
BOOK 23628 PAGE 23  
BOOK 29433 PAGE 72

THIS PLAN AMENDS THE PREVIOUSLY APPROVED AMENDED FINAL SUBDIVISION PLAN RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 211, PAGE 168 JUNE 23, 2011.

REV. 4 03-24-14	REVISED LOT 6
REV. 3 05-31-11	REVISED LOT 1
REV. 2 03-4-09	REVISED FOR PLANNING BOARD APPROVAL
REV. 1 07-19-07	REVISED PER CONDITIONS OF APPROVAL
<b>AMENDED FINAL SUBDIVISION PLAN</b>	
<b>CUMBERLAND FORESIDE VILLAGE</b>	
U.S. ROUTE ONE, CUMBERLAND, MAINE	
MADE FOR: OWNER OF RECORD	
<b>CUMBERLAND FORESIDE VILLAGE, LLC</b>	
50 GRAY RD, FALMOUTH, MAINE	
<b>OWEN HASKELL, INC.</b>	
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424	
PROFESSIONAL LAND SURVEYORS	
Drawn By	RWC
Trace By	RWC
Check By	JWS
Book No.	FILE
Date	FEBRUARY 20, 2007
Scale	1" = 120'
Job No.	2001-219 C
Drwg. No.	1-SD

AMENDED SUBDIVISION PLAN, APPROVED BY THE TOWN OF CUMBERLAND PLANNING BOARD

*Shirley Holman-Kelly*  
*David M. Kelly*  
*John W. Swan*  
*John W. Swan*  
*John W. Swan*

4-15-14

DATE



# LOT LINE TABLE

LINE	LENGTH	BEARING
L-1	78.00	N57°04'14"E
L-2	50.00	N65°14'51"E
L-3	27.06	S59°15'17"E
L-4	27.06	S59°15'17"E

# EASEMENT TABLE

LINE	LENGTH	BEARING
E-1	49.98	N84°10'10"E
E-2	27.06	S59°15'17"E
E-3	50.00	S30°44'43"W
E-4	37.57	S84°10'10"W
E-5	33.91	S84°10'10"W

CURVE	LENGTH	RADIUS
E-C1	89.81	1501.00
E-C2	44.89	186.00
E-C3	99.96	166.00

# LEGEND

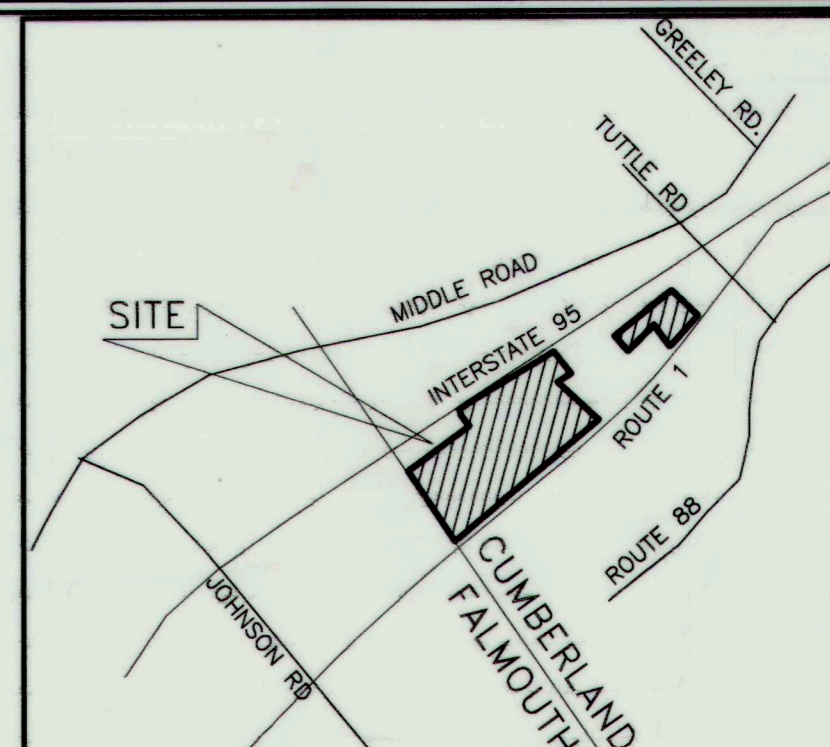
EXISTING

EASEMENT  
WETLAND LIMIT  
WETLAND

PROPOSED

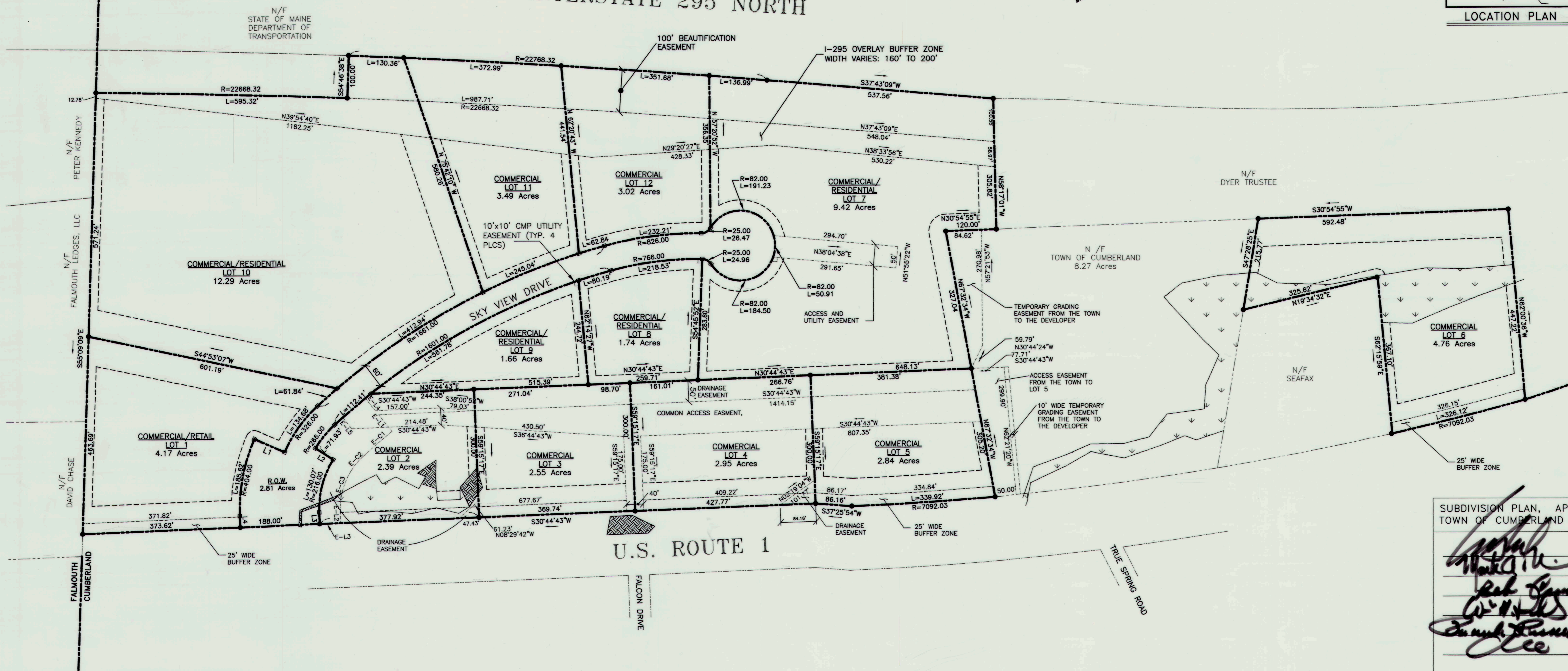
BUILDING SETBACK  
EASEMENT  
BUFFER  
CMP TRANSFORMER EASEMENT  
BOUND TO BE SET  
IRON PIPE TO BE SET

INTERSTATE 295 NORTH



LOCATION PLAN

N.T.S.



# PLAN REFERENCE

BOUNDARY INFORMATION TAKEN FROM "BOUNDARY PLAN, CUMBERLAND FORESIDE VILLAGE, U.S. ROUTE ONE, CUMBERLAND MAINE, MADE FOR CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, MAINE" BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, ME 04101, JUNE 07, 2006, REV. 3 01-08-07.

# ZONE INFORMATION

CUMBERLAND: OFFICE COMMERCIAL WITH CONTRACT ZONE	OFFICE COMMERCIAL	CONTRACT ZONE COMMERCIAL	CONTRACT ZONE ASSISTED LIVING	CONTRACT ZONE WAREHOUSE
SPACE STANDARDS:	150 FEET	150 FEET	150 FEET	150 FEET
MINIMUM LOT SIZE:	1 ACRE	1 ACRE	1 ACRE	1 ACRE
AGE RESTRICTED:	10,000 S.F.	10,000 S.F.	10,000 S.F.	10,000 S.F.
MINIMUM FRONTAGE:	150 FEET	150 FEET	150 FEET	150 FEET
MINIMUM FRONT SETBACK:	25 FEET	25 FEET	25 FEET	25 FEET
MINIMUM SIDE SETBACK:	20 FEET	20 FEET	20 FEET	20 FEET
MINIMUM REAR SETBACK:	65 FEET	20 FEET	40 FEET	50 FEET
FOUNDATIONS OF PRINCIPAL STRUCTURES:	25 FEET	25 FEET	25 FEET	25 FEET

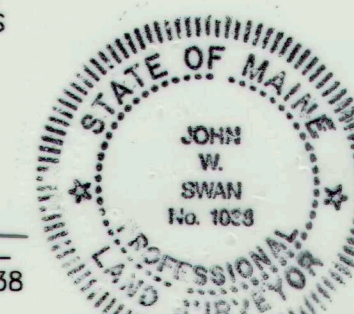
- NOTES:
- IF WAREHOUSE FACILITIES ARE ADJACENT TO RESIDENTIAL PROPERTY, THE ABOVE MINIMUM SETBACKS SHALL BE INCREASED TO 60 FEET.
  - SETBACKS SHOWN ON LOTS 7, 8, 9, & 10 ARE FOR THE COMMERCIAL ZONE. SEE CHART FOR SETBACKS FOR DIFFERENT DEVELOPMENT.

# NOTE

SEE SHEET C1.2 FINAL SUBDIVISION PLAN SHEET 2 FOR SPECIFIC CONDITIONS OF APPROVAL AND SUBDIVISION REQUIREMENTS

# CERTIFICATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.



SUBDIVISION PLAN, APPROVED BY THE TOWN OF CUMBERLAND PLANNING BOARD

*[Handwritten signatures and dates]*  
5/16/07  
5/16/07  
5/16/07  
5.9.07

DATE

REV. 11-07-19-07 REVISED PER CONDITIONS OF APPROVAL

# FINAL SUBDIVISION PLAN

CUMBERLAND FORESIDE VILLAGE

U.S. ROUTE ONE, CUMBERLAND, MAINE

MADE FOR: OWNER OF RECORD

CUMBERLAND FORESIDE VILLAGE, LLC

50 GRAY RD, FALMOUTH, MAINE

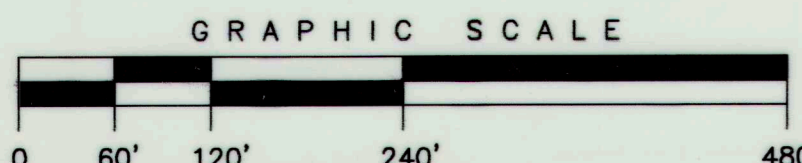


OWEN HASKELL, INC.

16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424

PROFESSIONAL LAND SURVEYORS

Drawn By	RWC	Date	Job No.
Trace By	RWC	FEBRUARY 20, 2007	2001-219 C
Check By	JWS	Scale	Drwg. No.
Book No.	FILE	1" = 120'	1-SD



	COVER SHEET	
C1-5D	FINAL SUBDIVISION PLAN	REV. 2
C11	FINAL SUBDIVISION PLAN-SHEET 2	REV. 5
C30	EXISTING CONDITIONS PLAN	REV. 5
C32	SCHEMATIC SITE PLAN - LOTS 2, 3, 4 & 5	REV. 11
C33	SCHEMATIC SITE PLAN - LOTS 1 & 6	REV. 10
C51	DEVELOPED CONDITION EROSION CONTROL PLAN	REV. 9
C52	EROSION CONTROL DETAILS	REV. 4
C53	EROSION CONTROL DETAILS	REV. 4
R10	SITE RECLAMATION PLAN	REV. 2

- OWNER/DEVELOPER: DAVID CHASE DOING BUSINESS AS CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, ME.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. BOUNDARY INFORMATION TAKEN FROM "BOUNDARY PLAN, CUMBERLAND FORESIDE VILLAGE, U.S. ROUTE ONE, CUMBERLAND MAINE, MADE FOR CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, MAINE" BY OWEN HASKELL, INC. 16 CASCO STREET, PORTLAND, ME 04101, JUNE 01, 2006, REV. 2 03-25-06.
4. TOPOGRAPHY TAKEN FROM "BOUNDARY & TOPOGRAPHY SURVEY ON ROUTE ONE, CUMBERLAND, ME MADE FOR PETER D. KENNEDY, 18 CARROLL STREET, FALMOUTH, MAINE" BY OWEN HASKELL, INC. 16 CASCO STREET, PORTLAND, ME 04101, JANUARY 09, 2002. BENCHMARK: "ELEVATIONS ARE BASED ON MDOT BENCHMARK, PK NAIL IN 30' WHITE PINE, ELEVATION 119.22 NGVD 1988."
5. CLASS B SOILS MAPPING BY PINKHAM & GREER CONSULTING ENGINEERS, ALAN BURNELL C65 #417.
6. WETLAND MAPPING BY MARK HAMPTON ASSOCIATES, INC. PORTLAND, MAINE AND ALAN BURNELL C65 #417, PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
7. ZONE: OFFICE COMMERCIAL USE, CONTRACT OVERLAY ADOPTED SEPT. 2002.
8. TAX MAP REFERENCE: MAP R01 LOTS 1, 8, 8A AND A PORTION OF 11.
9. TOTAL PARCEL: 49.32 acres
10. WAIVERS: NO WAIVERS REQUESTED.
11. ALL WORK AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" ISSUED BY THE BUREAU OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, DATED MARCH 2003.
12. BUILDING LOCATIONS TO BE WITHIN THE SETBACK LINES SHOWN ON THIS PLAN.
13. NO OPEN SPACE OR PUBLIC USE AREAS ARE INCLUDED IN THIS SUBDIVISION.
14. LOTS 1, 2, 3, 4, 5 AND 6 ARE NOT SUBJECT TO THE ROUTE ONE GUIDELINES.
15. LOTS TO BE SERVICED BY PUBLIC WATER AND SEWER.
16. POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
17. THE INSTALLATION OF THE SANITARY SEWER SYSTEM SHALL BE OBSERVED BY THE TOWN'S ENGINEERING REPRESENTATIVE.
18. PRIOR TO CONSTRUCTION OF THE SEWER BY THE TOWN THE MAIN LINE SEWER PIPE WILL BE INTERNALLY INSPECTED BY THE PORTLAND WATER DISTRICT EQUIPMENT AT THE DEVELOPER'S EXPENSE. ALL TESTING PROCEDURES SHALL BE ACCEPTABLE TO THE TOWN.
19. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR THE LOTS ON SKY VIEW DRIVE THE DEVELOPER SHALL SUBMIT TO THE TOWN A SET OF RECORD DRAWINGS OF THE COMPLETED SEWER SYSTEM.
20. THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING THE SUBDIVISION ROADS, INCLUDING FLOWING UNTIL SUCH TIME AS THE ROAD IS TAKEN OVER BY THE LOT OWNERS ASSOCIATION OR ACCEPTED BY THE TOWN COUNCIL AS A PUBLIC STREET.
21. IF THE ROADWAY SYSTEM IS NOT TAKEN OVER BY THE TOWN, THE DEVELOPER SHALL PREPARE AND EXECUTE SEWER EASEMENTS PRIOR TO THE SEWER SYSTEM EXTENSION BEING TAKEN OVER BY THE TOWN.
22. IRON PIPES OR RODS TO BE SET AT ALL CORNERS OF LOTS EXCEPT WHERE GRANITE OR CONCRETE MONUMENTS ARE TO BE SET AS SHOWN ON THIS PLAN BY THE DEVELOPER. IRON RODS ARE NOT SHOWN FOR CLARITY.
23. STREET NAMES: SKY VIEW DRIVE
24. NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLANS IS ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
25. SLOPES STEEPER THAN 2:1 REQUIRE GEOGRID TO BE CONSTRUCTED. REVIEW BY A GEOTECHNICAL ENGINEER FOR STEEP SLOPES IS REQUIRED.
26. PRIOR TO CONSTRUCTION, EXISTING MONITORING WELLS ARE TO BE ABANDONED. WELLS TO BE FILLED WITH GROUT, NEAT CEMENT, OR EQUIVALENT, USING A TREMIE PIPE OR OTHER MEANS TO BEGIN FILL AT BOTTOM OF WELL. AFTER WELL IS FILLED, CASING MAY BE CUT OFF AT OR BELOW PROPOSED GRADE.
27. LOT OWNERS OR TENANTS STORING OR HANDLING POTENTIAL CONTAMINANTS SUCH AS SALT, SOLVENTS, HEATING OIL (IN EXCESS OF A SINGLE 275 GALLON TANK FOR ON-SITE USE ONLY), LUBRICANTS, GASOLINE, PESTICIDES, FERTILIZERS, OR SIMILAR MATERIALS IN EXCESS OF THOSE NEEDED FOR NORMAL MAINTENANCE PURPOSES, SUCH AS LAWN CARE OR CUSTODIAL STAFF USES, MUST SUBMIT A GROUNDWATER PROTECTION PLAN TO MAINE DEP REFERENCING CUMBERLAND FORESIDE VILLAGE APPLICATION NUMBERS: L-21518-18-39-C-N AND L-21518-TB-D-N.
28. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
29. THIS PROJECT HAS PERMITS FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION: DEP L-21518-39-CN AND L-21518-TB-D-N, THE ARMY CORP OF ENGINEERS: PERMIT NAE-2006-2149 AND THE MAINE DEPARTMENT OF TRANSPORTATION: Reg. 01-00010-A-N. SEE PERMITS FOR CONDITIONS OF APPROVAL.
30. A COMMON ACCESS EASEMENT IS RETAINED BY THE DEVELOPER ACROSS LOTS 2, 3, 4, AND 5 FOR THE BENEFIT OF EACH LOT OWNER AND THE TOWN OF CUMBERLAND. AS PART OF EACH LOT SITE DEVELOPMENT, THE PLAN WILL INCLUDE A WAY FOR VEHICLES AND PEDESTRIANS TO CROSS THE LOT. IT IS THE RESPONSIBILITY OF THE LOT OWNER TO CONSTRUCT AND MAINTAIN THE WAY. THE CONCEPTUAL LAYOUT PLAN ON SHEET C3.2 OF THIS SET IS A GUIDE FOR THE DESIGN OF THE INTERCONNECTING WAY. IN THE EVENT THE LOT DESIGN CONFLICTS WITH THE EASEMENT THE EASEMENT MAY BE RELOCATED AS LONG AS THE INTERCONNECTION OF LOTS IS MAINTAINED IN A REASONABLE FASHION.
31. A DRAINAGE EASEMENT IS PART OF THE APPROVAL ACROSS LOTS 2, 3, 4 AND 5 FOR THE BENEFIT OF ALL LOTS IN THE SUBDIVISION. THE CONSTRUCTION OF THE DRAINAGE SWALE IS THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE CONSTRUCTED AS PART OF PHASE I OR PRIOR TO THE OCCUPANCY OF ANY ONE OF LOTS 2, 3, 4 OR 5. ADDITIONAL EASEMENTS FOR UNDERGROUND DRAINAGE (PIPES) ARE SHOWN ON THE PLANS.
32. THE LOT OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR INFRASTRUCTURE MAINTENANCE EVEN IF THE TOWN OF CUMBERLAND ACCEPTS SKY VIEW DRIVE AS A PUBLIC STREET. LOT OWNERS SHOULD REFERENCE THE "DECLARATION OF COVENANTS AND RESTRICTIONS FOR ADDITIONAL INFORMATION.

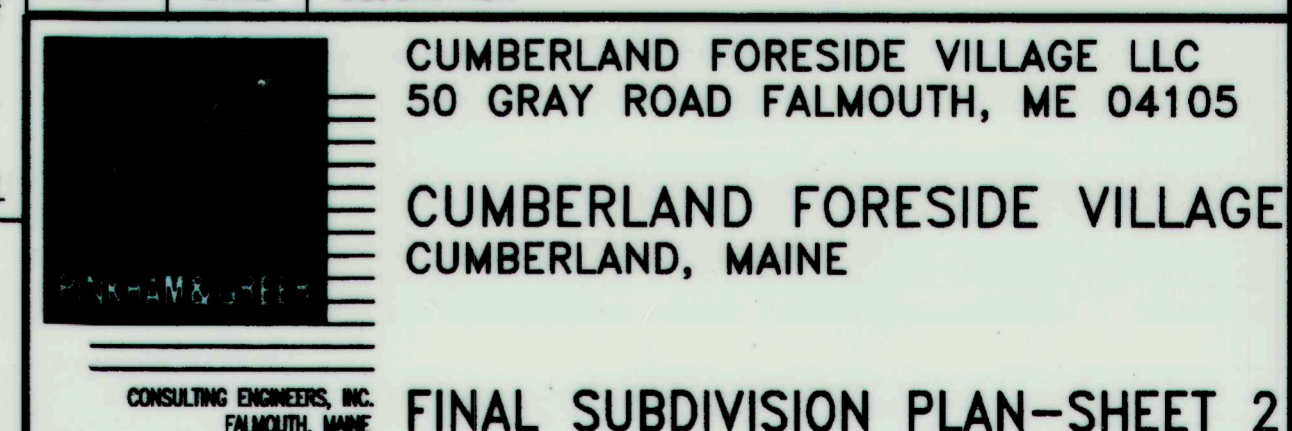
1. PRIOR TO THE START OF CONSTRUCTION, THE APPLICANT IS TO PROVIDE EVIDENCE OF PORTLAND WATER DISTRICT APPROVAL OF THE CONSTRUCTION PLANS AND A MAIN EXTENSION AGREEMENT WITH THE DISTRICT FOR THE PROPOSED WORK WITHIN THE SKY VIEW DRIVE.
2. THE APPLICANT SHALL RETAIN THE DESIGN ENGINEER TO PROVIDE CONSTRUCTION ADMINISTRATION SERVICES AS NECESSARY TO ESTABLISH THAT THE ORIGINAL DESIGN INTENT AND REPRESENTATIONS MADE IN PERMIT APPLICATIONS ARE MAINTAINED DURING CONSTRUCTION. THESE SERVICES SHALL INCLUDE, BUT ARE NOT LIMITED TO REVIEW OF SHOP DRAWINGS AND SUBMITTALS, PERIODIC SITE VISITS TO DETERMINE THAT CONSTRUCTION IS IN GENERAL CONFORMANCE TO DESIGN INTENT, DESIGN OF ANY NECESSARY FIELD MODIFICATIONS, PERMITTING IF NECESSARY OF ANY NECESSARY FIELD MODIFICATIONS, RESPONDING TO CONTRACTOR AND/OR TOWN REQUESTS FOR INFORMATION OR QUESTIONS, AND TO PREPARE A PUNCH LIST.
3. THAT ALL OUTSTANDING FEES BE PAID TO THE TOWN PRIOR TO THE RELEASE OF THE MYLAR FOR RECORDING.
4. THAT A BOND IN THE AMOUNT AGREED TO BY THE TOWN ENGINEER AND TOWN MANAGER BE PROVIDED TO THE TOWN MANAGER PRIOR TO THE PRECONSTRUCTION CONFERENCE.
5. THAT ALL CLEARING LIMITS BE FLAGGED PRIOR TO THE PRECONSTRUCTION CONFERENCE. THE TOWN ENGINEER WILL INSPECT THE FLAGGING TO ENSURE CONFORMANCE WITH THE PLANS.
6. THAT A PRECONSTRUCTION CONFERENCE BE HELD PRIOR TO THE START OF CONSTRUCTION.
7. THAT CONSTRUCTION OPERATIONS BE LIMITED TO BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. MACHINERY MAY BE STARTED ON OR AFTER 6:30 AM PROVIDED NOISE DOES NOT EXCEED 10 DECIBELS BETWEEN 6:30 AND 7:00 AM.
8. THAT A THIRD PARTY INSPECTOR HIRED BY THE APPLICANT, OVERSEE THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM, AND OVERSEE ALL EROSION CONTROL MEASURES AS PER THE CCSD APPROVAL.
9. THAT A LETTER OF AGREEMENT FROM MDOT PERMITTING THE PLACEMENT OF THE SIDEWALK WITHIN THE ROUTE ONE RIGHT OF WAY BE PROVIDED PRIOR TO THE PRECONSTRUCTION CONFERENCE.
10. THAT THE PLANS BE REVISED TO SHOW A 5' PAVED SHOULDER ON BOTH SIDES OF THE ROAD IN THE AREA OF ROUTE ONE THAT WILL BE APPROVED AS PART OF THE MDEP APPROVAL.
11. THAT PLAN BE REVISED TO INCLUDE A CONSPICUOUS REFERENCE TO PLAN SHEET 2 AND A NOTE STATING SEE DRAWING CU FOR SPECIFIC CONDITIONS OF APPROVAL AND SUBDIVISION REQUIREMENTS.

Lot #	Lot Size	Max. Buidling Size	Warehouse	Max. Impervious Surface	Max. Landscape /Lawn Area	Max. Development Window	Max. Wastewater Generation	Max. Trip Generation	
								AM	PM
1	4.17 ac	12,175 sf/1 Story		51,850 sf	99,501 sf	106,675 sf	365,25 gallons/day	18 trips	16 trips
2	2.41 ac	8,000 sf/2 Story		21,854 sf	50,829 sf	53,644 sf	480 gallons/day	23 trips	21 trips
3	2.55 ac	11,400 sf/2 Story		47,126 sf	55,266 sf	56,057 sf	864 gallons/day	32 trips	30 trips
4	2.97 ac	3,000 sf/2 Story		36,410 sf	82,434 sf	66,437 sf	180 gallons/day	17 trips	16 trips
5	2.82 ac	8,400 sf/2 Story		36,366 sf	76,129 sf	63,990 sf	504 gallons/day	24 trips	22 trips
6	4.76 ac	15,000 sf/3 Story		34,613 sf	31,854 sf	125,602 sf	1350 gallons/day	64 trips	58 trips

State of Maine, Cumberland SS.  
 Registry of Deeds  
 Received June 2, 2009  
 at 9 h 38 m A M and recorded in  
 Plan Book 209 Page 159  
 Attest: Emile C. Lowley  
 Register

5	3/4/09	REVISED FOR PLANNING BOARD APPROVAL
4	4/12/07	REV'D PER CONDITIONS OF APPROVAL
3	3/19/07	ADDED CONDITIONS OF APPROVAL
2	2/27/07	REV'D NOTE 11 & 29, UPDATED DRAWING REVISIONS LIST
1	1/16/07	REVISED PER TOWN REVIEW
REV.	DATE	DESCRIPTION

Mr. J. H. Smith  
Rev. J. H. Smith  
Chas. H. Smith  
J. H. Smith  
Wm. H. Smith



## C1.1

DRAWINGS INCLUDED IN THE APPROVAL

1-SD	COVER SHEET	REV. 1
C11	FINAL SUBDIVISION PLAN	REV. 4
C2.0	FINAL SUBDIVISION PLAN-SHEET 2	REV. 4
C3.0	EXISTING CONDITIONS PLAN	REV. 1
C3.0	SITE PREPARATION PLAN	REV. 1
C31	SCHEMATIC SITE PLAN - LOTS 1, 8 & 12	REV. 9
C32	SCHEMATIC SITE PLAN - LOTS 2, 3, 4 & 5	REV. 10
C33	SCHEMATIC SITE PLAN - LOTS 1, 6, 9 & 11	REV. 9
C34	SCHEMATIC SITE PLAN - LOT 10	REV. 5
C4.0	SKY VIEW DRIVE PLAN AND PROFILE STA. 0+00 TO 3+25	REV. 6
C41	SKY VIEW DRIVE PLAN AND PROFILE STA. 3+25 TO ROAD END	REV. 1
C42	ROUTE ONE IMPROVEMENTS	REV. 6
C43	ROUTE ONE IMPROVEMENTS	REV. 2
C5.0	SITE PREPARATION EROSION CONTROL PLAN	REV. 8
C51	DEVELOPED CONDITION EROSION CONTROL PLAN	REV. 3
C52	EROSION CONTROL DETAILS	REV. 3
C53	EROSION CONTROL DETAILS	REV. 6
C6.0	DETAILS	REV. 8
C61	DETAILS	REV. 3
C1.0	SITE PREPARATION PHASE DETENTION POND #3 & #4 PLAN AND SECTIONS	REV. 4
C11	SITE PREPARATION PHASE DETENTION POND #5 & #6 PLAN AND SECTIONS	REV. 4
C12	SOIL FILTER #1, #2 & #3 PLAN AND SECTIONS	REV. 2
C13	SOIL FILTER #4, #5 & #6 PLAN AND SECTIONS	REV. 2
C14	SOIL FILTER #7, #8 & #9 PLAN AND SECTIONS	REV. 2
C15	SOIL FILTER #10, #11 & #12 PLAN AND SECTIONS	REV. 2
C16	SOIL FILTER #13, #14, #15, #16 & #17 PLAN AND SECTIONS	REV. 2
C17	SOIL FILTER #18 & #19 PLAN AND SECTIONS	REV. 2
D1.0	DRAINAGE ANALYSIS - EXISTING CONDITIONS	REV. 3
D2.0	DRAINAGE ANALYSIS - SITE PREPARATION	REV. 6
D21	DRAINAGE ANALYSIS - DEVELOPED CONDITIONS	REV. 5
L1.0	RECLAMATION & LIGHTING PLAN - SITE PREPARATION	REV. 8
L2.0	DEVELOPMENT THRESHOLDS	REV. 8
L2.0	SIGNAGE PLAN	REV. 1
L3.0	SITE DETAILS	REV. 3

GENERAL NOTES

- OWNER/DEVELOPER: DAVID CHASE DOING BUSINESS AS CUMBERLAND FORESIDE VILLAGE, LLC, 50 GRAY ROAD, FALMOUTH, ME.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY INFORMATION TAKEN FROM "BOUNDARY PLAN, CUMBERLAND FORESIDE VILLAGE, U.S. ROUTE ONE, CUMBERLAND MAINE, MADE FOR CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, MAINE" BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, ME 04101, JUNE 07, 2006, REV. 2 09-25-06.
- TOPOGRAPHY TAKEN FROM "BOUNDARY & TOPOGRAPHY SURVEY ON ROUTE ONE, CUMBERLAND, ME MADE FOR PETER D. KENNEDY, 18 CARROLL STREET, FALMOUTH, MAINE" BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, ME 04101, JANUARY 09, 2002. BENCHMARK: "ELEVATIONS ARE BASED ON MDOT BENCHMARK, PK NAIL IN 30" WHITE PINE, ELEVATION 119.22 NGVD 1988."
- CLASS B SOILS MAPPING BY PINKHAM & GREER CONSULTING ENGINEERS, ALAN BURNELL C85 #417.
- WETLAND MAPPING BY MARK HAMPTON ASSOCIATES, INC. PORTLAND, MAINE AND ALAN BURNELL C85 #417, PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- ZONE: OFFICE COMMERCIAL USE, CONTRACT OVERLAY ADOPTED SEPT. 2002.
- TAX MAP REFERENCE: MAP R01 LOTS 1, 8, 8A AND A PORTION OF 11.
- TOTAL PARCEL: 49.32 acres
- WAIVERS: NO WAIVERS REQUESTED.
- ALL WORK AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" ISSUED BY THE BUREAU OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, DATED MARCH 2003.
- BUILDING LOCATIONS TO BE WITHIN THE SETBACK LINES SHOWN ON THIS PLAN.
- NO OPEN SPACE OR PUBLIC USE AREAS ARE INCLUDED IN THIS SUBDIVISION.
- LOTS 1, 2, 3, 4, 5 AND 6 ARE NOT SUBJECT TO THE ROUTE ONE GUIDELINES.
- LOTS TO BE SERVICED BY PUBLIC WATER AND SEWER.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- THE INSTALLATION OF THE SANITARY SEWER SYSTEM SHALL BE OBSERVED BY THE TOWN'S ENGINEERING REPRESENTATIVE.
- PRIOR TO ACCEPTANCE OF THE SEWER BY THE TOWN THE MAIN LINE SEWER PIPE WILL BE INTERNALLY INSPECTED BY THE PORTLAND WATER DISTRICT EQUIPMENT AT THE DEVELOPER'S EXPENSE. ALL TESTING PROCEDURES SHALL BE ACCEPTABLE TO THE TOWN.
- PRIOR TO ISSUANCE OF BUILDING PERMITS FOR THE LOTS ON SKY VIEW DRIVE THE DEVELOPER SHALL SUBMIT TO THE TOWN A SET OF RECORD DRAWINGS OF THE COMPLETED SEWER SYSTEM.
- THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING THE SUBDIVISION ROADS, INCLUDING FLOWING UNTIL SUCH TIME AS THE ROAD IS TAKEN OVER BY THE LOT OWNERS ASSOCIATION OR ACCEPTED BY THE TOWN COUNCIL AS A PUBLIC STREET.
- IF THE ROADWAY SYSTEM IS NOT TAKEN OVER BY THE TOWN, THE DEVELOPER SHALL PREPARE AND EXECUTE SEWER EASEMENTS PRIOR TO THE SEWER SYSTEM EXTENSION BEING TAKEN OVER BY THE TOWN.
- IRON PIPES OR RODS TO BE SET AT ALL CORNERS OF LOTS EXCEPT WHERE GRANITE OR CONCRETE MONUMENTS ARE TO BE SET AS SHOWN ON THIS PLAN BY THE DEVELOPER. IRON RODS ARE NOT SHOWN FOR CLARITY.
- STREET NAMES: SKY VIEW DRIVE
- NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLANS IS ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
- SLOPES STEEPER THAN 2:1 REQUIRE GEOGRID TO BE CONSTRUCTED. REVIEW BY A GEOTECHNICAL ENGINEER FOR STEEP SLOPES IS REQUIRED.
- PRIOR TO CONSTRUCTION, EXISTING MONITORING WELLS ARE TO BE ABANDONED. WELLS TO BE FILLED WITH GROUT, NEAT CEMENT, OR EQUIVALENT, USING A TREMIE PIPE OR OTHER MEANS TO BEGIN FILL AT BOTTOM OF WELL. AFTER WELL IS FILLED, CASING MAY BE CUT OFF AT OR BELOW PROPOSED GRADE.
- LOT OWNERS OR TENANTS STORING OR HANDLING POTENTIAL CONTAMINANTS SUCH AS SALT, SOLVENTS, HEATING OIL (IN EXCESS OF A SINGLE 275 GALLON TANK FOR ON-SITE USE ONLY), LUBRICANTS, GASOLINE, PESTICIDES, FERTILIZERS, OR SIMILAR MATERIALS IN EXCESS OF THOSE NEEDED FOR NORMAL MAINTENANCE PURPOSES, SUCH AS LAWN CARE OR CUSTODIAL STAFF USES, MUST SUBMIT A GROUNDWATER PROTECTION PLAN TO MAINE DEP REFERENCING CUMBERLAND FORESIDE VILLAGE APPLICATION NUMBERS: L-21518-TB-39-C-N AND L-21518-TB-D-N.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
- THIS PROJECT HAS PERMITS FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION: DEP L-21518-39-CN AND L-21518-TB-D-N, THE ARMY CORP OF ENGINEERS: PERMIT MAE-2006-2749 AND THE MAINE DEPARTMENT OF TRANSPORTATION: Reg. 01-00010-A-N. SEE PERMITS FOR CONDITIONS OF APPROVAL.
- A COMMON ACCESS EASEMENT IS RETAINED BY THE DEVELOPER ACROSS LOTS 2, 3, 4, AND 5 FOR THE BENEFIT OF EACH LOT OWNER AND THE TOWN OF CUMBERLAND. AS PART OF EACH LOT SITE DEVELOPMENT, THE PLAN WILL INCLUDE A WAY FOR VEHICLES AND PEDESTRIANS TO CROSS THE LOT. IT IS THE RESPONSIBILITY OF THE LOT OWNER TO CONSTRUCT AND MAINTAIN THE WAY. THE CONCEPTUAL LAYOUT PLAN ON SHEET C32 OF THIS SET IS A GUIDE FOR THE DESIGN OF THE INTERCONNECTING WAY. IN THE EVENT THE LOT DESIGN CONFLICTS WITH THE EASEMENT MAY BE RELOCATED AS LONG AS THE INTERCONNECTION OF LOTS IS MAINTAINED IN A REASONABLE FASHION.
- A DRAINAGE EASEMENT IS PART OF THE APPROVAL ACROSS LOTS 2, 3, 4 AND 5 FOR THE BENEFIT OF ALL LOTS IN THE SUBDIVISION. THE CONSTRUCTION OF THE DRAINAGE SWALE IS THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE CONSTRUCTED AS PART OF PHASE I OR PRIOR TO THE OCCUPANCY OF ANY ONE OF LOTS 2, 3, 4 OR 5. ADDITIONAL EASEMENTS FOR UNDERGROUND DRAINAGE (PIPES) ARE SHOWN ON THE PLANS.
- THE LOT OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR INFRASTRUCTURE MAINTENANCE EVEN IF THE TOWN OF CUMBERLAND ACCEPTS SKY VIEW DRIVE AS A PUBLIC STREET. LOT OWNERS SHOULD REFERENCE THE "DECLARATION OF COVENANTS AND RESTRICTIONS FOR ADDITIONAL INFORMATION.

CONDITIONS OF APPROVAL

- PRIOR TO THE START OF CONSTRUCTION, THE APPLICANT IS TO PROVIDE EVIDENCE OF PORTLAND WATER DISTRICT APPROVAL OF THE CONSTRUCTION PLANS AND A MAIN EXTENSION AGREEMENT WITH THE DISTRICT FOR THE PROPOSED WORK WITHIN THE SKY VIEW DRIVE.
- THE APPLICANT SHALL RETAIN THE DESIGN ENGINEER TO PROVIDE CONSTRUCTION ADMINISTRATION SERVICES AS NECESSARY TO ESTABLISH THAT THE ORIGINAL DESIGN INTENT AND REPRESENTATIONS MADE IN PERMIT APPLICATIONS ARE MAINTAINED DURING CONSTRUCTION. THESE SERVICES SHALL INCLUDE, BUT ARE NOT LIMITED TO REVIEW OF SHOP DRAWINGS AND SUBMITTALS, PERIODIC SITE VISITS TO DETERMINE THAT CONSTRUCTION IS IN GENERAL CONFORMANCE TO DESIGN INTENT, DESIGN OF ANY NECESSARY FIELD MODIFICATIONS, PERMITTING IF NECESSARY OF ANY NECESSARY FIELD MODIFICATIONS, RESPONDING TO CONTRACTOR AND/OR TOWN REQUESTS FOR INFORMATION OR QUESTIONS, AND TO PREPARE A PUNCH LIST.
- THAT ALL OUTSTANDING FEES BE PAID TO THE TOWN PRIOR TO THE RELEASE OF THE MYLAR FOR RECORDING.
- THAT A BOND IN THE AMOUNT AGREED TO BY THE TOWN ENGINEER AND TOWN MANAGER BE PROVIDED TO THE TOWN MANAGER PRIOR TO THE PRECONSTRUCTION CONFERENCE.
- THAT ALL CLEARING LIMITS BE FLAGGED PRIOR TO THE PRECONSTRUCTION CONFERENCE. THE TOWN ENGINEER WILL INSPECT THE FLAGGING TO ENSURE CONFORMANCE WITH THE PLANS.
- THAT A PRECONSTRUCTION CONFERENCE BE HELD PRIOR TO THE START OF CONSTRUCTION.
- THAT CONSTRUCTION OPERATIONS BE LIMITED TO BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. MACHINERY MAY BE STARTED ON OR AFTER 6:30 AM PROVIDED NOISE DOES NOT EXCEED 10 DECIBELS BETWEEN 6:30 AND 7:00 AM.
- THAT A THIRD PARTY INSPECTOR HIRED BY THE APPLICANT, OVERSEE THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM, AND OVERSEE ALL EROSION CONTROL MEASURES AS PER THE CC&UD APPROVAL.
- THAT A LETTER OF AGREEMENT FROM MDOT PERMITTING THE PLACEMENT OF THE SIDEWALK WITHIN THE ROUTE ONE RIGHT OF WAY BE PROVIDED PRIOR TO THE PRECONSTRUCTION CONFERENCE.
- THAT THE PLANS BE REVISED TO SHOW A 5' PAVED SHOULDER ON BOTH SIDES OF THE ROAD IN THE AREA OF ROUTE ONE THAT WILL BE APPROVED AS PART OF THE MDEP APPROVAL.
- THAT PLAN BE REVISED TO INCLUDE A CONSPICUOUS REFERENCE TO PLAN SHEET #2 AND A NOTE STATING SEE DRAWING C11 FOR SPECIFIC CONDITIONS OF APPROVAL AND SUBDIVISION REQUIREMENTS.

DEVELOPMENT THRESHOLDS:

Lot #	Lot Size	Max. Bulding Size	Warehouse	Max. Impervious Surface	Max. Landscape /Lawn Area	Max. Development Window	Max. Wastewater Generation	Max. Trip Generation	
								AM	PM
1	4.11 ac	12,175 sf/1 Story		51,850 sf	99,501 sf	106,675 sf	365.25 gallons/day	18 trips	16 trips
2	2.47 ac	8,000 sf/2 Story		21,854 sf	58,829 sf	53,644 sf	480 gallons/day	23 trips	21 trips
3	2.55 ac	11,400 sf/2 Story		47,126 sf	55,266 sf	56,057 sf	864 gallons/day	32 trips	30 trips
4	2.91 ac	3,000 sf/2 Story		36,410 sf	82,434 sf	66,437 sf	180 gallons/day	17 trips	16 trips
5	2.82 ac	8,400 sf/2 Story		36,366 sf	76,129 sf	63,990 sf	504 gallons/day	24 trips	22 trips
6	4.76 ac	15,000 sf/3 Story		34,613 sf	31,854 sf	125,602 sf	1350 gallons/day	64 trips	58 trips
7	9.51 ac	15,000 sf/2 Story 6,000 sf/2 Story 6,000 sf/2 Story 6,000 sf/2 Story	30,000 sf 12,000 sf	134,237 sf		170,512 sf	233,929 sf 120 gallons/day 315 gallons/day (Warehouse)	95 trips	84 trips
8	1.76 ac	6,000 sf/2 Story		28,493 sf		47,090 sf	360 gallons/day	17 trips	16 trips
9	1.66 ac	7,100 sf/2 Story		30,795 sf		41,356 sf	426 gallons/day	20 trips	18 trips
10	12.29 ac	15,000 sf/1 Story 15,000 sf/1 Story 12,000 sf/1 Story 12,000 sf/1 Story 6,000 sf/1 Story	15,000 sf 15,000 sf 12,000 sf	192,061 sf		280,357 sf	540 gallons/day 315 gallons/day (Warehouse)	86 trips	77 trips
11	3.49 ac	4,300 sf/2 Story 4,000 sf/2 Story	8,600 sf	42,875 sf		40,576 sf	240 gallons/day 645 gallons/day (Warehouse)	24 trips	21 trips
12	2.89 ac	6,000 sf/2 Story	12,000 sf	27,996 sf		36,744 sf	90 gallons/day	17 trips	16 trips

THIS PROJECT WAS APPROVED WITH THE IMPERVIOUS AREAS SHOWN IN THIS TABLE. SITE PLANS WITH MORE IMPERVIOUS SURFACE REQUIRE APPROVALS FROM DEP AND THE TOWN OF CUMBERLAND.

SEE SHEET 1-SD FINAL SUBDIVISION PLAN FOR THE SUBDIVISION PLAN, ZONING AND PROJECT LOCATION.

4	4/12/07	REV'D PER CONDITIONS OF APPROVAL
3	3/19/07	ADDED CONDITIONS OF APPROVAL
2	2/27/07	REV'D NOTE 11 & 29, UPDATED DRAWING REVISIONS LIST
1	1/16/07	REVISED PER TOWN REVIEW
REV.	DATE	DESCRIPTION
<div><div><div>STATE OF MAINE</div><div>THOMAS S. GREER</div><div>No. 4206</div><div>LICENSED PROFESSIONAL ENGINEER</div><div>4/18/07</div></div><div><div>CUMBERLAND FORESIDE VILLAGE LLC</div><div>50 GRAY ROAD FALMOUTH, ME 04105</div><div>CUMBERLAND FORESIDE VILLAGE</div><div>CUMBERLAND, MAINE</div><div>PINKHAM &amp; GREER</div><div>CONSULTING ENGINEERS, INC.</div><div>FALMOUTH, MAINE</div></div></div> <div>FINAL SUBDIVISION PLAN-SHEET 2</div>		
SCALE: AS SHOWN		DRN BY: SJM
DATE: JANUARY 8, 2007		DESG BY: DPD
PROJECT: 06120		CHK BY: TSG
C1.1		

SUBDIVISION PLAN, APPROVED BY THE TOWN OF CUMBERLAND PLANNING BOARD	
<div><div>5/9/07</div><div>5/9/07</div><div>5/9/07</div><div>5/9/07</div><div>5-9-07</div></div>	DATE

# LOT LINE TABLE

LINE	LENGTH	BEARING
L1	78.00	N57°04'14"E
L2	50.00	N85°14'51"E
L3	27.06	S59°15'17"E
L4	27.06	N59°15'17"W

# EASEMENT TABLE

LINE	LENGTH	BEARING
E-L1	49.98	N84°10'10"E
E-L2	27.06	S59°15'17"E
E-L3	50.00	S30°44'43"W
E-L4	37.57	S84°10'10"W
E-L5	33.91	S84°10'10"W

CURVE	LENGTH	RADIUS
E-C1	89.81	1501.00
E-C2	44.89	166.00
E-C3	99.96	166.00

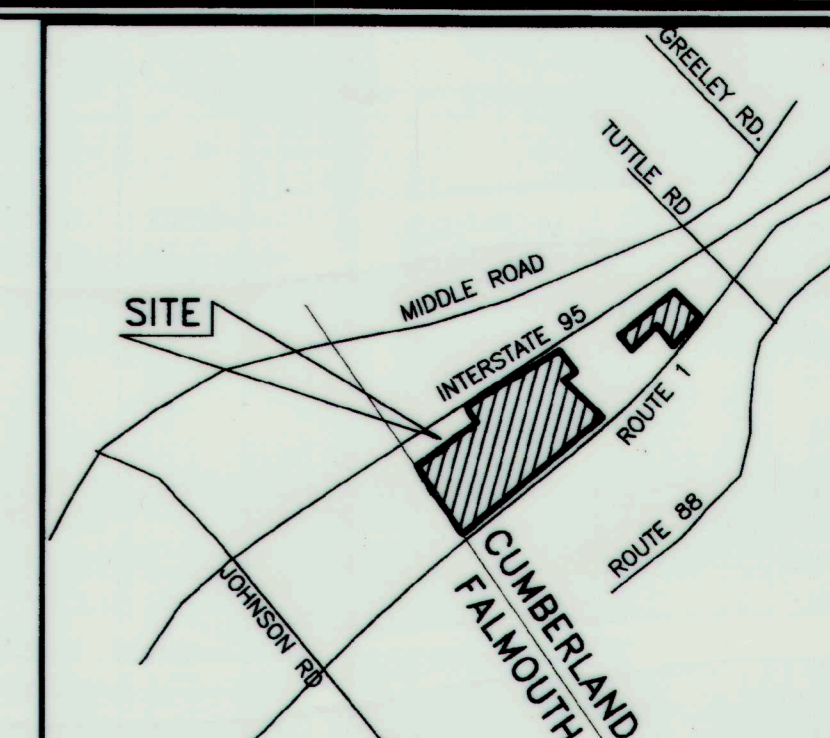
# LEGEND

## EXISTING

EASEMENT  
WETLAND LIMIT  
WETLAND

## PROPOSED

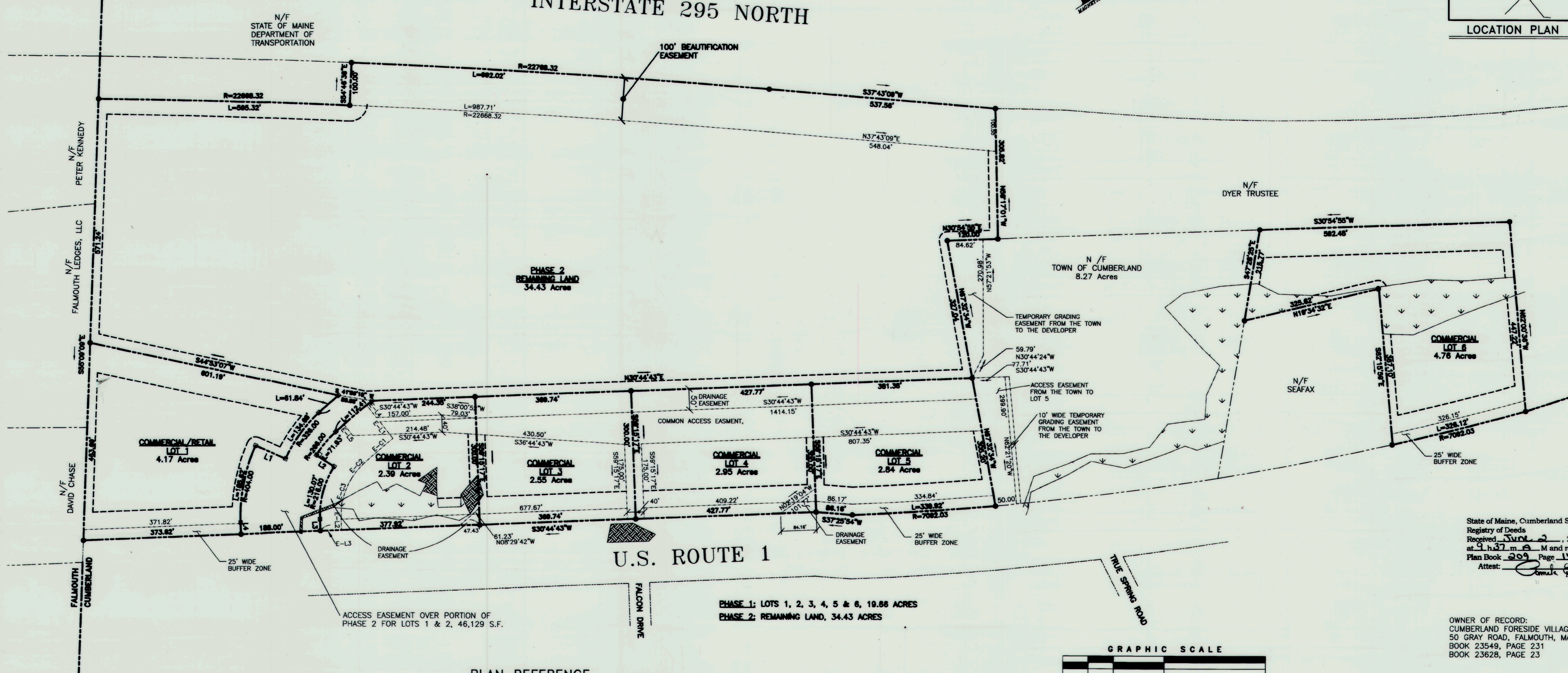
BUILDING SETBACK  
EASEMENT  
BUFFER  
CMP TRANSFORMER EASEMENT  
BOUND TO BE SET  
IRON PIPE TO BE SET



LOCATION PLAN

N.T.S.

# INTERSTATE 295 NORTH



State of Maine, Cumberland SS.

Registry of Deeds

Received June 2, 2009

at 1:37 p.m. and recorded in

Plan Book 209 Page 149

Attest: [Signature]

OWNER OF RECORD:  
CUMBERLAND FORESIDE VILLAGE, LLC  
50 GRAY ROAD, FALMOUTH, MAINE  
BOOK 23549, PAGE 231  
BOOK 23628, PAGE 23

THIS PLAN AMENDS THE PREVIOUSLY APPROVED  
FINAL SUBDIVISION PLAN RECORDED IN THE  
CUMBERLAND COUNTY REGISTRY OF DEEDS IN  
PLAN BOOK 207, PAGE 299 JUNE 11, 2007.

# PLAN REFERENCE

BOUNDARY INFORMATION TAKEN FROM "BOUNDARY PLAN, CUMBERLAND FORESIDE VILLAGE, U.S. ROUTE ONE, CUMBERLAND MAINE, MADE FOR CUMBERLAND FORESIDE VILLAGE, LLC 50 GRAY ROAD, FALMOUTH, MAINE" BY OWEN HASKELL, INC., 16 CASCO STREET, PORTLAND, ME 04101, JUNE 07, 2006, REV. 3 01-08-07.

# ZONE INFORMATION

CUMBERLAND: OFFICE COMMERCIAL WITH CONTRACT ZONE

SPACE STANDARDS:	OFFICE COMMERCIAL	CONTRACT ZONE RESIDENTIAL	CONTRACT ZONE COMMERCIAL	CONTRACT ZONE ASSISTED LIVING	CONTRACT ZONE WAREHOUSE
MINIMUM LOT SIZE:	1 ACRE	10,000 S.F.	150 FEET	150 FEET	150 FEET
AGE RESTRICTED:	10,000 S.F.	75 FEET	25 FEET	25 FEET	25 FEET
MINIMUM FRONTAGE:	150 FEET	25 FEET	150 FEET	150 FEET	150 FEET
MINIMUM FRONT SETBACK:	25 FEET	25 FEET	25 FEET	25 FEET	25 FEET
MINIMUM SIDE SETBACK:	20 FEET	10 FEET	20 FEET	30 FEET	25 FEET
MINIMUM REAR SETBACK:	65 FEET	20 FEET	40 FEET	50 FEET	25 FEET
DISTANCE BETWEEN FOUNDATIONS OF PRINCIPAL STRUCTURES:		25 FEET	25 FEET	25 FEET	25 FEET

## NOTES:

1. IF WAREHOUSE FACILITIES ARE ADJACENT TO RESIDENTIAL PROPERTY, THE ABOVE MINIMUM SETBACKS SHALL BE INCREASED TO 60 FEET.

2. SETBACKS SHOWN ON THE PHASE 2 REMAINING LAND IS FOR THE COMMERCIAL ZONE. SEE CHART FOR SETBACKS FOR DIFFERENT DEVELOPMENT.

# NOTE

SEE SHEET C1.2 FINAL SUBDIVISION PLAN SHEET 2 FOR SPECIFIC CONDITIONS OF APPROVAL AND SUBDIVISION REQUIREMENTS

# CERTIFICATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE 3/26/09

JOHN W. SWAN, PLS NO. 1038



AMENDED SUBDIVISION PLAN, APPROVED BY THE TOWN OF CUMBERLAND PLANNING BOARD

[Signature]  
[Signature]  
[Signature]  
DATE \_\_\_\_\_

REV. 2 03-4-09 REVISED FOR PLANNING BOARD APPROVAL  
REV. 1 07-19-07 REVISED PER CONDITIONS OF APPROVAL

# AMENDED FINAL SUBDIVISION PLAN

CUMBERLAND FORESIDE VILLAGE

U.S. ROUTE ONE, CUMBERLAND, MAINE

MADE FOR OWNER OF RECORD

CUMBERLAND FORESIDE VILLAGE, LLC

50 GRAY RD, FALMOUTH, MAINE

OWEN HASKELL, INC.

16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424

PROFESSIONAL LAND SURVEYORS

Drawn By	RWC	Date	February 20, 2007	Job No.	2001-219 C
Trace By	RWC	Scale	1" = 120'	Drawn No.	1-SD
Check By	JWS				
Book No.	FILE				