

LEGEND:

EXISTING

- IRON PIPE/ PIN FOUND (FND)
- GRANITE MONUMENT FOUND
- ⊙ 5/8" REBAR TO BE SET WITH SURVEY CAP MARKED 20"
- ⊗ WATER VALVE BOX
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ SIGN
- TREE LINE
- EXISTING CONTOUR
- EDGE OF PAVEMENT
- BITUMINOUS CURB
- PROPERTY LINE
- ABUTTING PROPERTY
- ⊙ TREE OR GROUP
- EXISTING STRUCTURE
- SANITARY SEWER
- WATER LINE

PROPOSED

- UGU — UNDERGROUND UTILITY
- BUILDING
- TREELINE
- EDGE OF PAVEMENT
- EDGE OF CONCRETE
- ⊙ STREET LIGHT
- ⊙ WALL MOUNTED LIGHT
- ⊙ SANITARY CLEAN-OUT
- SS — SANITARY SEWER
- ⊙ WATER VALVE
- W — WATER LINE
- MAIL BOXES

RESTRICTIONS WITHIN THE CONTRACT ZONE

(A) THE SETBACKS WITHIN THE CONTRACT ZONE SHALL BE AS FOLLOWS:

- (1) THE SETBACKS FOR THE MULTIPLEX CONDOMINIUM BUILDING SHALL BE:
 - (i) REAR: THE REAR YARD SETBACK SHALL BE 35'
 - (ii) FRONT FROM COTTAGE FARMS ROAD: THE SETBACK SHALL BE 25'
 - (iii) FRONT FROM MAIN STREET: THE SETBACKS SHALL BE 30'.
- (2) THE SETBACKS FOR THE GARAGE STRUCTURE SHALL BE:
 - (i) REAR: THE REAR YARD SETBACK SHALL BE 35'.
 - (ii) SIDE: THE SIDE YARD SETBACK SHALL BE 10'.
 - (iii) FRONT: THE FRONT YARD SETBACK SHALL BE 30'.
- (3) THE SIDE YARD SETBACK FOR THE DRIVEWAY SHALL BE 10'.
- (4) THE SETBACK FOR THE DRIVEWAY TURNAROUND SHALL BE 1'.

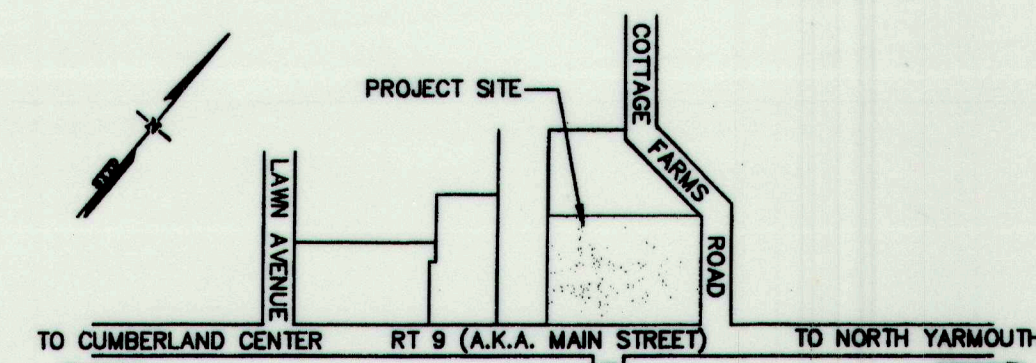
(B) NOTWITHSTANDING ANYTHING TO THE CONTRARY CONTAINED IN THE MDR ZONING DISTRICT ORDINANCE OR OTHERWISE PROVIDED BY THE ZONING ORDINANCE, THE PROPERTY SHALL SATISFY ALL UNIT DENSITY AND MINIMUM LOT SIZE REQUIREMENTS FOR THE PROJECT WITHIN THE CONTRACT ZONE.

(C) THE BUILDINGS AND IMPROVEMENTS COMPRISING THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING ADDITIONAL REQUIREMENTS:

- (1) GARAGE STRUCTURE. THERE SHALL BE ONE, FOUR (4)-CAR GARAGE AS A DETACHED STRUCTURE, APPROXIMATELY 1008 SQUARE FEET IN SIZE, WITH EACH GARAGE BAY BEING APPROXIMATELY 252 SQUARE FEET IN SIZE;
- (2) CONDOMINIUM BUILDING. THERE SHALL BE ONE (4)-UNIT MULTIPLEX CONDOMINIUM BUILDING WITH APPROXIMATELY 4,000 SQUARE FEET OF LIVING SPACES; TWO (2) OF THE FOUR (4) DWELLING UNITS SHALL BE APPROXIMATELY 900 SQUARE FEET IN SIZE AND TWO (2) OF THE FOUR (4) DWELLING UNITS SHALL BE APPROXIMATELY 1,100 SQUARE FEET IN SIZE;
- (3) HEIGHT, LIGHTING, AND LANDSCAPING. THE BUILDINGS AND IMPROVEMENTS ON THE PROPERTY SHALL COMPLY WITH ALL APPLICABLE HEIGHT RESTRICTIONS, LIGHTING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS UNDER THE TOWN'S SITE PLAN ORDINANCE AND ZONING ORDINANCE.
- (4) ENTRANCE TO MAIN STREET. THE ENTRANCE FOR THE ACCESS DRIVE TO THE PROJECT SHALL BE LOCATED ON MAIN STREET, ON THE SOUTHERLY BOUNDARY OF THE PROPERTY.

SPACE AND BULK STANDARDS
MEDIUM DENSITY RESIDENTIAL DISTRICT

DESCRIPTION	MULTI-PLEX DEVELOPMENT	
	REQUIRED/MDR ZONE	PROVIDED
MIN. LOT AREA PER DWELLING UNIT (SERVED BY SEWER)	0.50 AC.	0.12 AC.
MIN. ROAD FRONTAGE	150 FT.	246 FT. (ROUTE 9)
MIN. FRONT SETBACK	35 FT.	30 FT.
MIN. REAR SETBACK	50 FT.	
MIN. SIDE SETBACK	20 FT. / COMBINED 50 FT.	11.5 FT. / COMBINED 48.5 FT.
MIN. DWELLING UNIT AREA	600 S.F.	850 S.F.
MIN. OPEN SPACE	50% OF PARCEL	
MIN. DISTANCE FROM DRIVEWAY TO UNSIGNALIZED INTERSECTION	50 FT.	109 FT. ±
PARKING AREA: MIN. DISTANCE FROM SIDE OR REAR LOT LINES	15 FT.	SIDE = 3 FT.
MIN. PARKING REQUIRED PER DWELLING UNIT	2.5 SPACES	2.5 SPACES



N.T.S.

PLAN REFERENCES:

1. A PLAN ENTITLED "DR. GARY HOWARD PROPERTY, 326 MAINE STREET, CUMBERLAND, MAINE 04021, STANDARD BOUNDARY SURVEY WITH EXCEPTIONS" DRAWING NO. S-100, PREPARED FOR DR. GARY HOWARD, PREPARED BY SQUAW BAY CORP. DATED FEB., 2000
2. PLAN ENTITLED "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP STATE HIGHWAY 138 CUMBERLAND. FEDERAL AID PROJECT NO. RS-STP-138S" D.O.T FILE #3-397, DATED APRIL 1992

GENERAL NOTES:

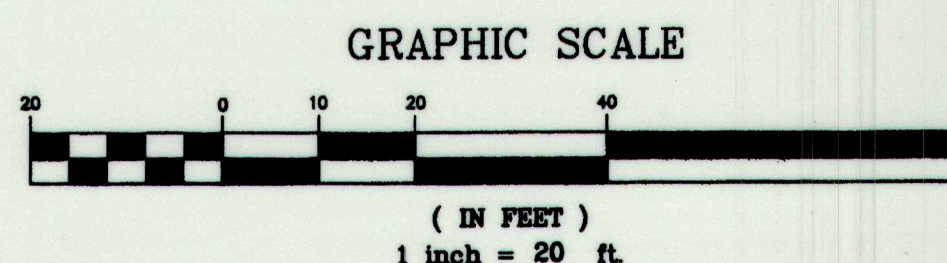
1. DATUMS
HORIZONTAL - BASED UPON PLAN REFERENCE #2
VERTICAL - ASSUMED SEE PROJECT BENCHMARK, POLE #12D, ELEV. 502.32
2. MINIMUM SLOPE ON 6" SEWER SERVICES SHALL BE 4 PERCENT.
3. SEWER PIPE SHALL BE PVC-SDR-35

FIRE PROTECTION NOTES:

- 1) The building shall be equipped with a fire alarm system that is monitored by an approved fire alarm company. The system shall have a remote annunciator panel located in the garage that can be silenced with the push of one button from this location. The strobe or other visual alarm signaling devices shall remain active when the system is silenced. The alarm system shall identify the exact location of each individual initiation device with plain text at the fire alarm panel. Monitoring and maintenance of the system shall be identified in the Homeowner's Association Document.
- 2) The building shall be equipped with a hinged key box approved by the fire department. The key box shall be located on the garage and shall be electronically connected to the fire alarm system to show a trouble signal whenever the box is in the open position. Keys to each individual unit shall be required to be in the box.
- 3) The building shall meet the requirements of the National Fire Protection Association Life Safety Code. These requirements cannot be determined until a complete set of building drawings are reviewed.
- 4) Any fuel storage shall meet the appropriate standard of the National Fire Protection Association. Attention to building and property line set back requirements should be included as part of the site plan review.
- 5) A fire protection sprinkler system shall be installed and shall meet the requirements of the National Fire Protection Association. The fire department connection shall be equipped with a 4" locking coupling that is located in an area that is approved by the fire department. The sprinkler system shall send a water flow signal to the fire alarm panel whenever water is moving throughout the system. The detached garage shall be exempt from this requirement.

PLANNING BOARD APPROVAL:

MEMBER: *[Signature]* DATE: *[Signature]*

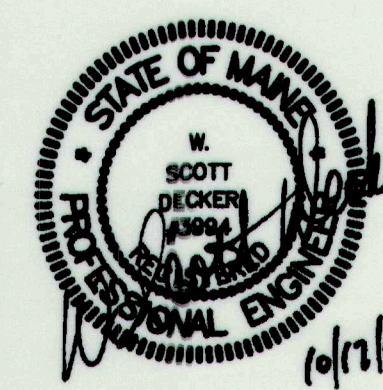


State of Maine, Cumberland SS.
Registry of Deeds
Received October 25, 2006
at 11:42 a.m. M and recorded in
Plan Book 206 Page 175
Attest:

John B. O'Brien
Register

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SYTDesign Consultants, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SYTDesign Consultants.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
						G	10/16/06	GENERAL REVISIONS	JSD	WSD	WSD
						F	9/27/06	REVISED SANITARY SEWER SERVICES	JJC	WSD	WSD
						E	9/22/06	RAISED BUILDING ELEVATION - REVISED GRADING & WALK	JJC	WSD	WSD
						D	9/21/06	MISCELLANEOUS REVISION'S	JJC	WSD	WSD
						C	9/15/06	MISCELLANEOUS REVISION'S	JSD	WSD	WSD
						B	9/11/06	REVISED PER RALPH OULTON'S REVIEW COMMENTS	JSD	WSD	WSD
						A	8/29/06	SUBMITTED TO TOWN WITH SUBDIVISION APPLICATION	JSD	WSD	WSD



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CLIENT: + *Revised owner*

COTTAGE FARM DEVELOPMENT, LLC
P.O. BOX 10715, PORTLAND, MAINE 04104

DESIGN: WSD
DRAWN: JJC
CHKD: WSD

COTTAGE FARM CONDOMINIUMS
ROUTE 9, CUMBERLAND, MAINE

SUBDIVISION PLAN

DATE: DEC. 1, 2005
SCALE: 1" = 20'

PROJ. NO.
DWG. NO.

05-261.00
C-102
REV. G