

Location Map  
Not To Scale

Magnetic North, 2006  
(observed)  
(See Note 16)

Line Table:

	Bearing	Distance
L1	N35°28'35"W	22.16'
L2	N35°28'35"W	50.60'
L3	N35°28'35"W	27.25'
L4	N36°03'31"W	50.00'
L5	N45°43'10"E	68.05'
L6	S45°43'10"W	75.80'
L7	N52°29'34"W	50.00'
L8	S37°30'26"W	50.00'
L9	N52°29'34"W	50.00'
L10	N37°30'26"E	50.00'
L11	N52°29'34"W	75.00'
L12	S37°30'26"W	50.00'
L13	S35°33'47"E	100.00'
L14	N53°56'29"E	10.29'

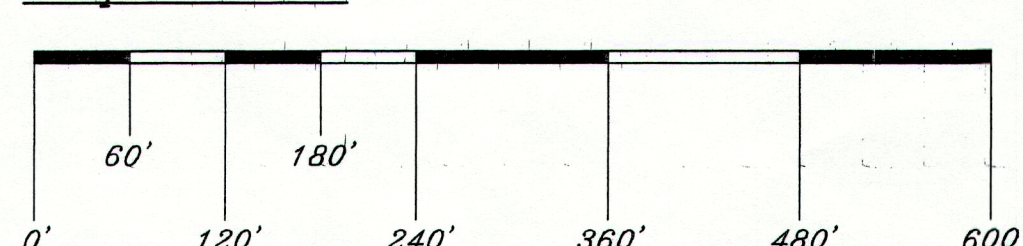
Curve Table:

	Radius	Length
C1	219.43'	25.00'

Approved - Town of Cumberland Planning Board:

Name: Bob Cumberland Date: June 17, 2008  
[Signature]  
[Signature]  
[Signature]

Graphic Scale:



Remaining Portion Of  
Lot C  
Per Plan Ref. 2

N/F  
Minott  
Bk.13979,Pg.102  
R6-18

Sophie's Way  
Proposed 50' Wide R/W  
0.66 AC

(2) 24" Corrugated  
Plastic Pipes &  
Proposed Culvert  
(See Note 15)

N/F  
Hayes  
Bk.2589,Pg.228

N/F  
Stowell  
Bk.6460,Pg.135

N/F  
Glasier  
Bk.6840,Pg.311  
Bk.8122,Pg.52

N/F  
Mark J. & Kathie A.  
Braden  
Bk.14290,Pg.135

Lot 2  
6.11 AC  
Per Plan Ref. 4

N/F  
Mary  
Walker  
Bk.22500,Pg.263

N/F  
CROSS  
Bk.2133,Pg.151

N/F  
Derrig  
Bk.3007,Pg.294

N/F  
Kennedy  
Bk.4073,Pg.324

N/F  
Leeman  
Bk.3631,Pg.1

N/F  
Kelly  
Bk.6746,Pg.21

N/F  
Smith  
Bk.2647,Pg.306

N/F  
Moran  
Bk.7960,Pg.87

N/F  
Valante  
Bk.7209,Pg.83

N/F  
Stockholm  
Bk.3060,Pg.29

N/F  
Fordham  
Bk.2723,Pg.412

N/F  
Fordham  
Bk.2723,Pg.412

N/F  
Halleman  
Bk.4479,Pg.103

N/F  
Fordham  
Bk.3324,Pg.257

Lot 1  
N/F  
Michael A. & Jill S.  
Eng  
Bk.16064,Pg.287

N/F  
Moreau  
Bk.2476,Pg.470

N/F  
Moreau  
Bk.4723,Pg.131

N/F  
Hamilton  
Bk.2971,Pg.463

N/F  
Glasier  
Bk.2476,Pg.366

N/F  
Hamilton  
Bk.2971,Pg.463

James D. Nadeau, LLC  
James D. Nadeau, P.L.S. #2124 (agent)

SEAL

Plan References:

- "Standard Boundary Survey, Brookwood, Route 9 & Greely Rd. Ext., No. Yarmouth & Cumberland, ME, Cumberland County Prepared For Crown Realty Company, P.O. Box 516, Cumberland, Maine", dated March 1988 by Technical Services, Inc., Engineers, Surveyors, Land Planners, Lewiston, Maine, recorded at the Cumberland County Registry of Deeds in Plan Book 171, page 42.
- "Standard Boundary Survey, Greely Road Extension, Cumberland, Maine Made For Marshall & Karen Minott, Cumberland, Maine", dated November 27, 1996, last revised May 24, 1998, by Pitcomb Associates Land Surveyors, Falmouth, Maine, recorded at the Cumberland County Registry of Deeds in Plan Book 198, page 21.
- "Plan For A Private Way Made For Roger E. Brooks and Elizabeth A. Brooks, Northeastly Sideline Of Greely Road Extension, Cumberland, Maine", dated December 5, 2006, last revised August 22, 2007, by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine, recorded October 23, 2007 at the Cumberland County Registry of Deeds in Plan Book 207, page 648.
- "The Muzzy Property, North Yarmouth, Maine, Subdivision Plat", by Squaw Bay Corp. Consulting Engineers, Cumberland, Maine, recorded November 14, 1996 at the Cumberland County Registry of Deeds in Plan Book 196, page 382.
- "Amended Subdivision Plan Brookwood, Prepared For Roger E. Brooks and Elizabeth A. Brooks, Route 9 & Greely Rd. Ext., North Yarmouth & Cumberland, Maine", dated January 18, 2006, by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine.
- "Plan Showing Land On Greely Road Extension, Cumberland/N. Yarmouth, Maine, Record Owners: Roger and Elizabeth Brooks, Topographic Survey Plan", dated January 15, 1995, revised March 17, 1995 by Land Use Consultants, Portland, Maine.

Road Construction Notes Per Plan Reference 3:

- The proposed private way shall have a minimum right of way width of 50 feet and a paved apron of at least 5 feet in length, commencing at the existing southeasterly edge of pavement of Range Road.
- The paved apron shall be constructed to the following standards:
  - Fifteen (15") inches of base gravel meeting M.D.O.T. SPEC. 703.06 Type D;
  - Three (3") inches of surface crushed gravel, M.D.O.T. SPEC. 703.06 Type A;
  - Pavement thickness of apron shall be a total of three (3") inches of hot bituminous pavement, with a surface course (Grading "C") of one (1") inch and a base course (Grading "B") of two (2") inches.
  - Approach radius shall be specified by the public works director.
- Location of proposed private way will be over existing driveway for the first 450', more or less.
- A negative 2% grade from the existing edge of Greely Road Extension pavement to the side drainage ways is required.
- The Town of Cumberland shall not be responsible for the maintenance, repair, plowing, or similar services for the private way shown on this plan.

General Notes:

- This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
- This office reserves the right to be held harmless by all 3rd party claims.
- This survey does not purport to reflect any of the following:
  - easements other than those that are visible or specifically stated in the referenced documents.
  - building setback compliance or restrictive covenants.
  - zoning or other land use regulations.
  - the location of any underground utilities or structures.
- This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
- Reference is made to a "Letter of Agreement" between James D. Nadeau, LLC and the below listed client(s), which shall be considered an integral part of this survey.
- N/F is an abbreviation for Now or Formerly.
- All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds.
- This office does not accept any liability for errors in Plan References 1, 2, 4 & 6 listed hereon.
- Proposed Lot is a portion of Lot 18D shown on the Town of Cumberland Assessor's Map R6.
- This office has not performed a boundary survey or any records research, and all services to date are based solely on plan references listed hereon. Abutter's references and lot areas are based solely on Plan References and have not been confirmed by this office. All boundary lines, except for the Proposed Lot & 50' Wide R/W, are based on Plan References 1 & 2.
- The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230162 0015B, index dated July 15, 1992. The parcel scales in Zone C.
- The depicted centerline of brook location is based on coordinates given to this office by original surveyor and has not been field verified by this office. This office recommends the relocation of said brook should an exact location be required.
- See Plan References listed hereon for additional information.
- This office recommends that the client and/or a representative of said client verify setback requirements (including from brook) prior to any permitting and/or construction.
- See Edwards and Kelcey Engineers letter to Roger E. Brooks dated April 5, 2007, recommending that 3 - 24" smooth lined, corrugated, HDPE pipes be installed per manufacturer's recommendations.
- Plan Reference 1 bearings have been rotated to observed magnetic meridian of 2006.
- Northwesterly end of Brookwood Drive and lot boundary lines adjacent to right of way are per Plan Reference 4.
- The Cumberland portion of the locus parcel is zoned Rural Residential 2 (RR2). The North Yarmouth portion of the locus parcel is zoned Village Residential.
- Location of outbuilding, dwelling, carriage house, barn, leach field, wells, underground utilities, and gravel drive are not field located and are only approximate locations.
- Topographic contour lines and wetland limits are per Plan Reference 6 and are based on an assumed datum. This office has not field verified the accuracy of contour lines or wetlands.
- See "Subsurface Wastewater Disposal System Application", dated January 15, 2008 by Andrew Gobeil, Site Evaluator #370.

Revised - March 19, 2008 - added wetlands, moved proposed dwelling and leach field.  
Revised - March 17, 2008 - misc. revisions.

Amended Subdivision Plan  
Brookwood  
Prepared For Roger E. Brooks and Elizabeth A. Brooks  
Route 9 & Greely Rd. Ext.  
NORTH YARMOUTH & CUMBERLAND, MAINE

PREPARED BY:  
James D. Nadeau, LLC  
Professional Land Surveyors  
918 BRIGHTON AVENUE  
PORTLAND, ME 04102  
PH. (207) 878-7870  
FAX (207) 878-7871

RECORD OWNER - LOT 4: Roger E. Brooks & Elizabeth A. Brooks 391 Greely Road Extension Cumberland, Maine 04021	DRAWN BY: TPB/SBH CHECKED BY: JDN INSTR. Topcon GPT-3003W	PLAN DATE: 1/19/2008 SURVEY DATE: Sept. 2006 SCALE: 1" = 120' JOB No.: 206901SUBR2
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FIELD BOOK: FB 359 & Topcon Ranger  
JOB No.: 206901SUBR2  
SHEET No.: 1 of 1

lot copy