

Land Use Consultants, Inc.

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

August 23, 2004

4178.1

p l a n n e r s
e n g i n e e r s
l a n d s c a p e
a r c h i t e c t s

Town of Cumberland
c/o Carla Nixon
290 Tuttle Road
Cumberland, ME 04021

Mary Lane Subdivision – Copies of Recorded Recording Plat

Dear Carla Nixon:

The Subdivision Recording Plat for Mary Lane Subdivision was rerecorded at the Cumberland County Registry of Deeds on August 20, 2004 at 11:16 a.m. in Book 204, Page 572. Attached are four full-size paper copies, one reduced copy, and one mylar copy of the recorded plat.

Should you have any questions, comments or require additional documentation please give us a call.

Sincerely,

Nicole Duval

Enclosures

cc: Steve Goodrich
Deirdre O'Callaghan
Rob Storey
Pat Tinsman
Tim Patch
Adam Ogden
Tom Saucier

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 3313
fax (207) 878 0201
www.landuse@gwi.net

General Notes

1. PLANIMETRIC AND TOPOGRAPHIC DETAIL SHOWN HEREON IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY SGC ENGINEERING, LLC., DATED MAY, 2003.
2. NORTH AS SHOWN HEREON IS BASED ON SURVEY INFORMATION PROVIDED BY SGC ENGINEERING, LLC., SEE PLAN C-2.
3. ELEVATIONS SHOWN HEREON ARE BASED ON SURVEY PLAN PROVIDED BY SGC ENGINEERING, LLC., SEE PLAN C-2. BENCHMARK LOCATED...
4. WETLANDS DELINEATION AND HIGH INTENSITY SOILS MAPPING PROVIDED BY MARK HAMPTON ASSOCIATES, INC., DATED, MAY, 2003, SEE SHEET C-3.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
7. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
8. ALL WORK SHALL BE IN CONFORMANCE WITH TOWN OF CUMBERLAND & APPLICABLE UTILITY COMPANIES STANDARDS.
9. CONTRACTOR SHALL VERIFY LOCATIONS & DEPTHS OF ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
10. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. (REFERENCE CUMBERLAND ORDINANCE SECTION 8 STREET STANDARDS")
11. NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
12. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. FORESIDE ROAD CONTAINS CONCRETE BASE. ALL PAVEMENT REPAIRS SHALL BE COORDINATED WITH THE MDOT DIVISION 6 OFFICE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
14. INLETS AND OUTLETS OF ALL DRAIN LINES SHALL BE RIP RAPPED UNLESS OTHERWISE NOTED ON PLANS OR DIRECTED BY THE ENGINEER.
15. CONDUIT SHALL BE USED FOR PUBLIC ELECTRIC, TELEPHONE AND TV LINES IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROLS AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH PRACTICES OF THE DEP "MAINE EROSION & SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," LATEST EDITION.
17. ALL TRAFFIC MARKINGS AND SIGNAGE SHALL COMPLY WITH AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1988 OR LATER VERSION.
18. EXISTING DWELLING TO BE REMOVED. ALL UTILITY SERVICES TO BE REMOVED & CAPPED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING PUBLIC WORKS DIRECTOR, DESIGN ENGINEER AND INSPECTION ENGINEER PRIOR TO CONSTRUCTION OF ROADWAY ADJACENT TO EXISTING POND. AT THAT TIME THE PROJECT WILL BE REVIEWED AND REVISED TO MINIMIZE THERE IMPACTS OF THE CONSTRUCTION ON THE EXISTING POND.

Project Team

Applicant

Mary Lane, LLC
875 Princes Point Road
Yarmouth, Maine 04096

Traffic Consultant

William Bray, P.E.
235 Bancroft Street
Portland, Maine 04102

Land Surveyor

SGC Engineering, LLC
501 County Road
Westbrook, Maine 04092

Utilities

Portland Water District (Water)
Contact: David Coffin Ph. 774-5961 ext.3041

Cumberland Town Manager (Sewer)
Contact: William Shane Ph. 829-2205

Verizon (Telephone)
Contact: George Hillman Ph. 797-1798

Time Warner (Cable TV)
Contact: Don Johnson Ph. 253-2291

Central Maine Power (Electric)
Contact: Brian Conroy Ph. 828-2860

Design & Permitting

Land Use Consultants, Inc.
966 Riverside Street
Portland, Maine 04103

Soils and Wetland Mapping

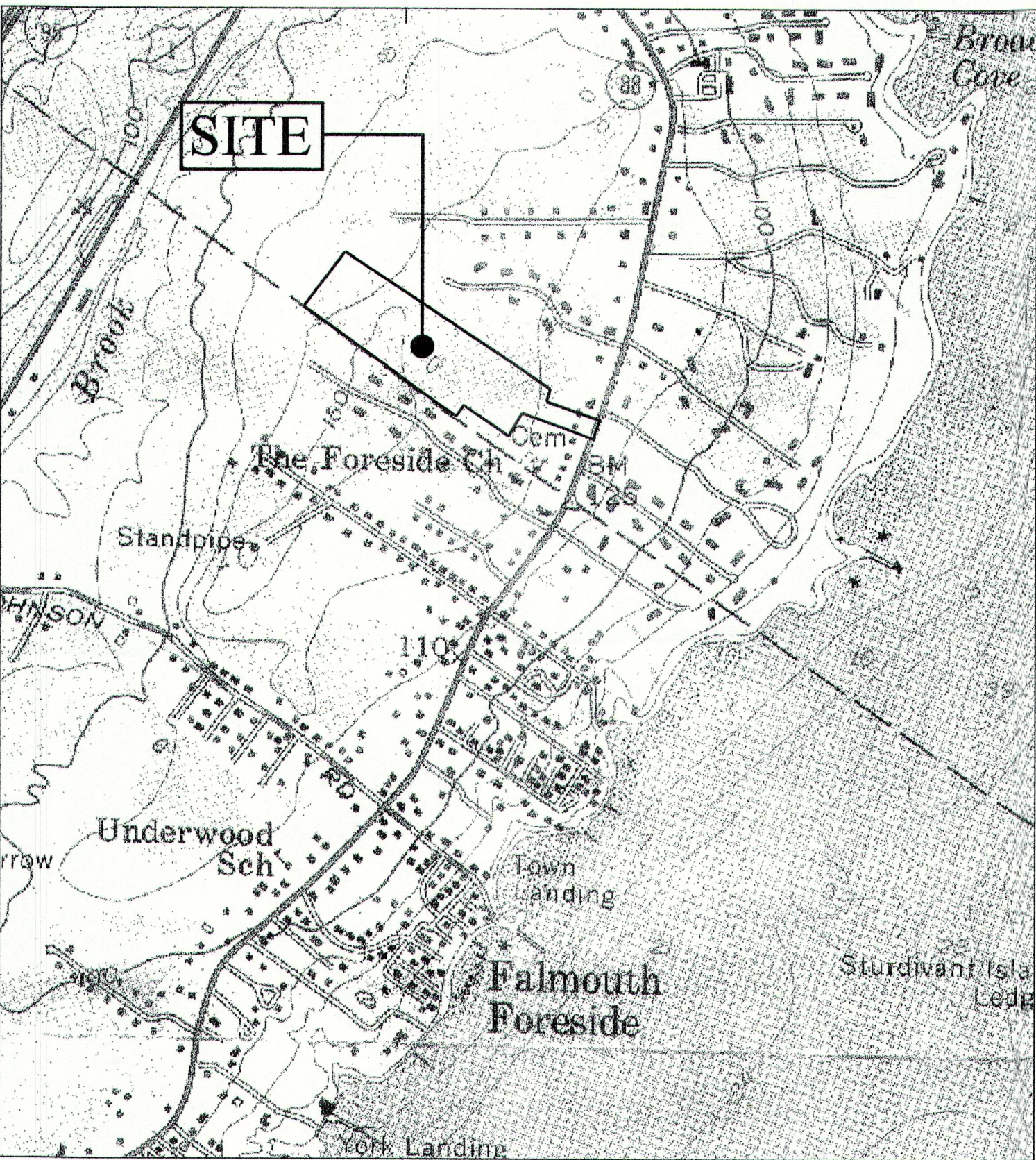
Mark Hampton Associates, Inc.
PO Box 1931
Portland, Maine 04104

Rare or Exemplary Botanical Features

Stockwell Environmental Consulting
58 Hendricks Hill Road
Southport, Maine 04576

MARY LANE SUBDIVISION
Foreside Road, Cumberland, Maine
(Map U01 Lot 5)

Prepared For
Mary Lane, LLC c/o Stephen Goodrich
875 Princes Point Road, Yarmouth, Maine 04096



LOCUS

Scale: 1" = 1000'

Submitted to
The Town of Cumberland
for
Subdivision &
Site Plan Review

APPROVED FOR
CONSTRUCTION
DATE 10/12/04

ISSUE DATES: 06-24-03

- 07-13-04 REVISIONS TO POND GRADING
06-29-04 2nd AMENDMENT: LOT MODIFICATIONS/
STORM DRAIN & SEWER MODIFICATIONS
05-14-04 1st AMENDMENT: LOT COVERAGE NOTE
MODIFIED, SHEET 1 OF 1 & C-4. PWD
COMMENTS & RD. STA. REV'S SHEETS
C-5, 6 & 12
12-16-03 FINAL PLANNING BOARD MEETING
11-25-03 FINAL SUBDIV. SUBMISSION
09-17-03 REVISED SUBMISSION PER DESIGN
REVIEW COMMENTS
08-05-03 REVISED SUBMISSION PER DESIGN
REVIEW COMMENTS MDOT/CONSERVATION
07-15-03 REVISED SUBMISSION PER SEWER DESIGN
REVIEW COMMENTS
PRELIMINARY SUBDIV. SUBMISSION

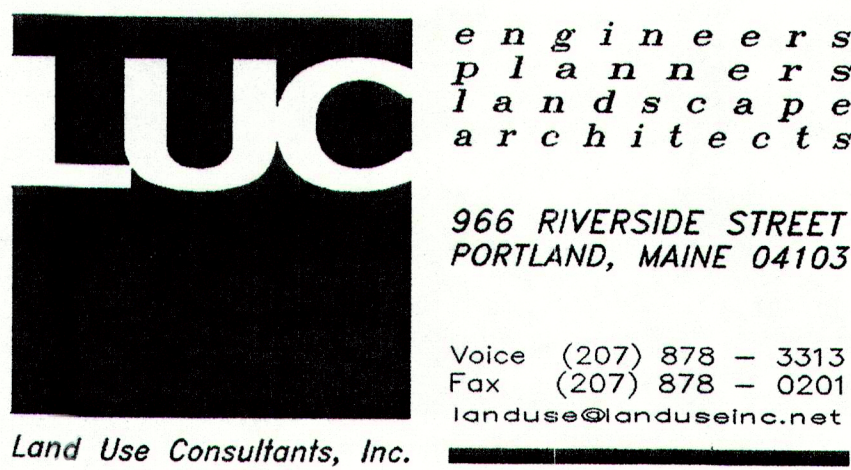
LEGEND

EXISTING		PROPOSED
---125---	CONTOUR	---125---
---	SPOT GRADE	---125---
---	ROW	---
---	PROPERTY LINE	---
---	ROADWAY CENTERLINE	---
---	BUILDING SETBACK	---
---	EASEMENT	---
---	LOT LINE	---
---	EDGE OF PAVEMENT	---
---	CAPE COD BIT CURB	---
---	VERTICAL GRANITE CURB	---
---	SLOPED GRANITE CURB	---
---	BUILDING	---
SS	SANITARY SEWER	SS
SD	STORM DRAIN	SD
W	WATER MAIN	W
OH	OVERHEAD	OH
ETTV	ETTV	ETTV
---	UNDERDRAIN	---
---	CATCH BASIN	---
---	SEWER MANHOLE	SMH
---	DRAINAGE MANHOLE	DMH
---	HYDRANT	---
---	WATER VALVE	---
---	WATER SHUT-OFF	---
---	SIDEWALK RAMP	---
---	HAY BALES	---
---	IRON PIPE FOUND (I.P.)	---
---	FND REBAR W/CAP	---
---	FOUND GRANITE MONUMENT	---
---	TO BE SET GRANITE MONUMENT	---
---	TO BE SET REBAR W/CAP	---
---	SILT FENCE	---
---	EROSION CONTROL MAT	---
---	WETLANDS	---
---	STREAM-PERENNIAL	---
---	STONE WALL	---
---	TREES	---
---	RIP RAP	---
---	STABILIZED CONSTRUCTION	---
---	ENTRANCE	---
---	TREE LINE	---
---	STONE CHECK DAM	---
---	CORRUGATED METAL PIPE	---
---	EDGE OF PAVEMENT	---
---	FINISHED FLOOR ELEVATION	---
---	NOW OR FORMERLY	---
---	CONCRETE FES	---

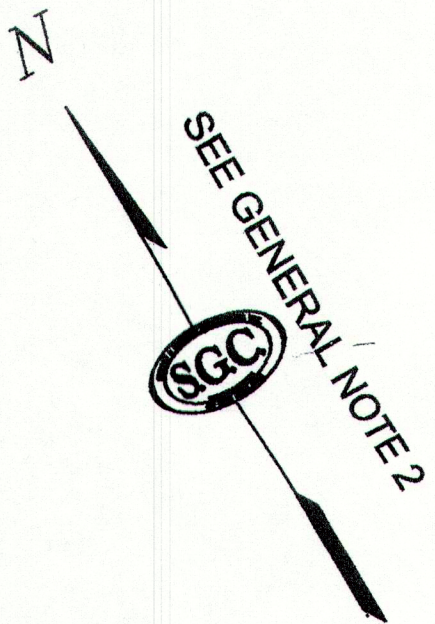
SHEET # Index of Sheets

- C-1 COVER SHEET
1 of 1 SGC BOUNDARY & TOPOGRAPHIC SURVEY
1 of 1 SUBDIVISION RECORDING PLAT
C-2 SITE ANALYSIS PLAN
C-3 HIGH INTENSITY SOILS MAP
C-4 SUBDIVISION PLAN
C-4A SEWER & UTILITY EASEMENT PLAT
C-5 ROAD PLAN & PROFILES
C-6 ROAD PLAN & PROFILES
C-7 STORMWATER DETAILS
C-8 PREDEVELOPMENT
C-9 POSTDEVELOPMENT
C-10 SITE DETAILS
C-11 SANITARY & STORM DRAIN DETAILS
C-12 WATER DETAILS
C-13 EROSION CONTROL & UTILITY DETAILS
C-14 LANDSCAPED ENTRANCE PLAN
C-15 LANDSCAPED ACCESS ROAD

Prepared By:



ISSUE TO:
Adam Gagan
Date: 10/12/04



REVISIONS:		
NO.	DATE	
0	05-22-03	APPROVED FOR SUBMITTAL
1	06-04-03	APPROVED FOR SUBMITTAL

- GENERAL NOTES:**
- 1) THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY S.G.C. ENGINEERING, LLC PURSUANT TO A PROFESSIONAL SERVICES CONTRACT BETWEEN MR. STEPHEN GOODRICH AND S.G.C. ENGINEERING, LLC DATED MARCH 31, 2003.
 - 2) NORTH AS SHOWN HEREON IS REFERENCED TO NAD 83, MAINE STATE PLANE WEST BASED ON A STATIC GPS SURVEY AND TIED TO THREE N.G.S. CORN STATIONS.
 - 3) BOUNDARY & TOPOGRAPHIC INFORMATION AS SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY S.G.C. ENGINEERING, LLC BETWEEN APRIL 30, 2003 AND MAY 13, 2003.
 - 4) NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED, OTHER THAN OBTAINING INVERT INFORMATION AT STORM SEWER AND SANITARY SEWER JUNCTIONS. DIG SAFE SHOULD BE CALLED PRIOR TO ANY EXCAVATION.
 - 5) ABUTTING PROPERTY OWNER INFORMATION WAS OBTAINED FROM THE TOWN OF FALMOUTH AND THE TOWN OF CUMBERLAND TAX ASSESSOR RECORDS.
 - 6) SURVEY PREMISES FALLS WITHIN FLOOD ZONE "C" AS SHOWN ON "FLOOD INSURANCE RATE MAP TOWN OF CUMBERLAND, MAINE CUMBERLAND COUNTY PANELS 18 AND 19 OF 25, COMMUNITY-PANEL NUMBERS 230162 0018(419) C MAPS REVISED OCTOBER 15, 1985.
 - 7) SURVEY PREMISES RESIDES IN THE TOWN OF CUMBERLAND "LOW DENSITY RESIDENTIAL" ZONE. (SEE ZONING INFORMATION)
 - 8) SURVEY PREMISES SUBJECT TO AN EASEMENT TO RICHARD C. BATES AND GERALD M. BATES, JR. FOR RIGHTS "TO USE A CERTAIN OLD GARAGE FOR THE STORAGE OF WATERCRAFT AND OTHER ITEMS TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS BY FOOT OR VEHICLE FROM FORESIDE ROAD TO THE DRIVEWAY LEADING TO SAID GARAGE FOR PURPOSES OF ACCESSING SAID GARAGE AND USING, RETRIEVING, OR RETURNING SAID WATERCRAFT OR OTHER ITEMS" PER DEED BOOK 16820 PAGE 189.
 - 9) THE APPROXIMATE TOWNLINE AS SHOWN HEREON IS BASED UPON MAP REFERENCE #3. NO EFFORT HAS BEEN MADE BY SGC ENGINEERING, LLC TO DEFINITELY REFERENCE THE TOWN LINE.

- MAP REFERENCES:**
- 1) A PLAN ENTITLED "PLAN OF LOTS IN DOW PROPERTY FALMOUTH MAINE MARCH 1958 SCALE 1/4"=1" BY CARL E. EMERY RECEIVED AT THE REGISTRY ON OCTOBER 7, 1958 AND RECORDED IN PLAN BOOK 50, PAGE 31.
 - 2) A PLAN ENTITLED "PLAN OF PROPERTY IN FALMOUTH, MAINE MADE FOR ROBERT H. WALKER INC. HEDGEROW DRIVE (EXTENDED)" BY H.J. & E.C. JORDAN DATED MAY 2, 1966 LAST REVISED MAY 10, 1966 RECEIVED AT THE REGISTRY ON JUNE 15, 1966 AND RECORDED IN PLAN BOOK 72, PAGE 5.
 - 3) A PLAN ENTITLED "PLAN OF PROPERTY IN FALMOUTH, MAINE MADE FOR ROBERT H. WALKER INC. HEDGEROW DRIVE (EXTENDED)" BY H.J. & E.C. JORDAN LAST REVISED FEBRUARY 2, 1979 RECEIVED AT THE REGISTRY ON MAY 10, 1979 AND RECORDED IN PLAN BOOK 123, PAGE 27.
 - 4) A PLAN ENTITLED "PINE RIDGE ROAD IN CUMBERLAND, MAINE MADE FOR ROBERT H. WALKER, INC." BY ROBERT P. TITCOMB, INC. DATED OCTOBER 29, 1979 RECEIVED AT THE REGISTRY ON DECEMBER 20, 1979 AND RECORDED IN PLAN BOOK 125, PAGE 33.
 - 5) A PLAN ENTITLED "PLAN OF PROPERTY IN CUMBERLAND FORESIDE, MAINE AND OWNED BY ROBERT H. WALKER INC. PINE RIDGE ROAD" BY H.J. & E.C. JORDAN DATED APRIL 8, 1964 RECEIVED AT THE REGISTRY ON JULY 1, 1964 AND RECORDED IN PLAN BOOK 67, PAGE 27.
 - 6) A PLAN ENTITLED "PLAN OF PROPERTY IN CUMBERLAND FORESIDE, MAINE OWNED BY ROBERT H. WALKER INC. STONY RIDGE ROAD LOTS 13-19" BY H.J. & E.C. JORDAN DATED APRIL 30, 1964 RECEIVED AT THE REGISTRY ON JULY 1, 1964 AND RECORDED IN PLAN BOOK 67, PAGE 26.
 - 7) A PLAN ENTITLED "PLAN OF PROPERTY STONY RIDGE ROAD EXT. CUMBERLAND, MAINE MADE FOR SPEARS HILL ASSOCIATES" BY ROBERT P. TITCOMB INC. DATED DECEMBER 6, 1984 LAST REVISED MAY 14, 1985 RECEIVED AT THE REGISTRY ON JUNE 27, 1985 AND RECORDED IN PLAN BOOK 148, PAGE 47.
 - 8) A PLAN ENTITLED "PLAN OF PORTION OF ROUTE 488 IN THE TOWN OF CUMBERLAND AS REDEFINED BY THE COMMISSIONERS OF CUMBERLAND COUNTY FOLLOWING HEARING ON SAME APRIL 21, 1961" BY H.J. SWEETSER H.J. & E.C. JORDAN DATED DECEMBER 18, 1962, SHEET 1 OF 7, RECEIVED AT THE CUMBERLAND COUNTY COMMISSIONERS OFFICE ON DECEMBER 25, 1962 AND RECORDED IN PLAN BOOK 74, PAGE 69.
 - 9) A PLAN ENTITLED "STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY PN ROUTE 88, FORESIDE ROAD, CUMBERLAND COUNTY, FALMOUTH, MAINE, MADE FOR THE FORESIDE COMMUNITY CHURCH" BY OWEN HASKELL, INC. DATED JULY 23, 1997 REVISED THRU JULY 22, 1997.
 - 10) PORTLAND WATER DISTRICT CUMBERLAND SHEET 3 REVISED 1-24-94.
 - 11) A PLAN ENTITLED "STA. 0+30 TO 10+70 INTERCEPTOR SEWER SYSTEM-CONTRACT 2 ROUTE 88 TO FALMOUTH" BY E.C. JORDAN CO. PREPARED FOR PORTLAND WATER DISTRICT LAST STATUS WAS "RECORD DWGS." ON OCTOBER 2, 1984.

TITLE:
BOUNDARY & TOPOGRAPHIC SURVEY

DEED BOOK 16820 PAGE 185
TAX SHEET 40 LOT U1-5

DEED BOOK 10673 PAGE 101
TAX SHEET 40 LOT U1-4

DEED BOOK 13209 PAGE 252
TAX SHEET 40 LOT U1-6

TOWN OF CUMBERLAND CUMBERLAND COUNTY
STATE OF MAINE

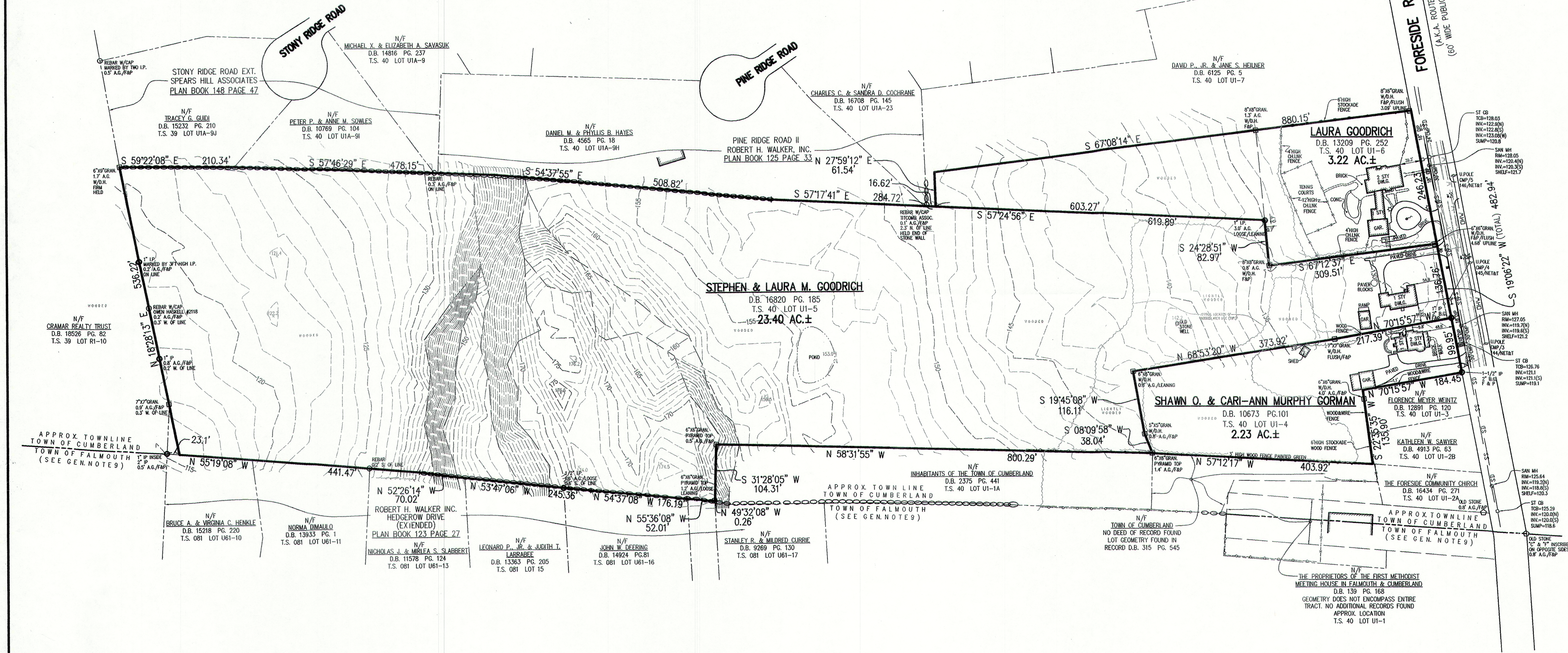
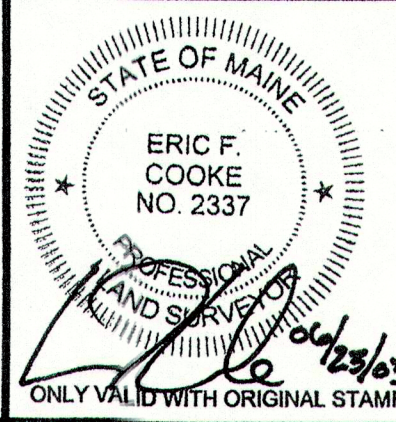
PREPARED FOR:

MR. STEPHEN GOODRICH
875 PRINCESS POINT ROAD
YARMOUTH, MAINE 04096



12 Westbrook Common, 2nd Floor
Westbrook, Maine 04092
Phone: 207-856-0006 • Fax: 207-856-0007
E-Mail: sgc@sgceng.com

DATE: 05/22/03	DRAWN: JJC	JOB NO.: 222-001-01	SHEET 1 OF 1
COMP/DESIGN: JJC	CHECK: EFC	DWG: BND-TOPO_22200101	

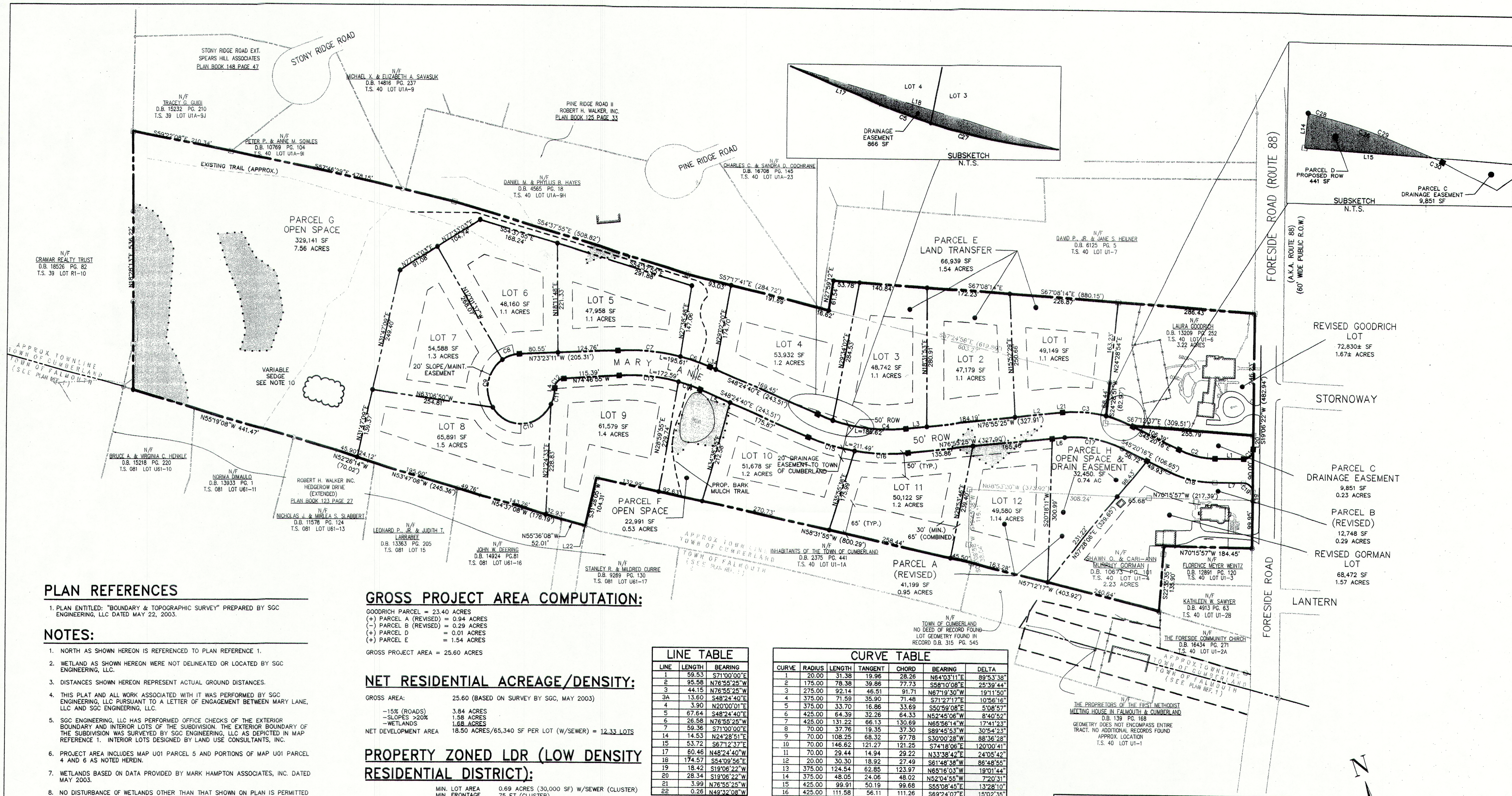


- LEGEND:**
- IRON PIPE (I.P.)
 - REBAR
 - GRANITE MONUMENT
 - STONE
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - STORM SEWER CATCH BASIN
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - MALIBOX
 - LIGHT POLE
 - FLAG POLE
 - FENCE
 - WATERLINE (COMPILED PER REF. MAP #10)
 - D.B. DEED BOOK
 - T.S. TAX SHEET
 - A.K.A. ALSO KNOWN AS
 - P.C. PAGE
 - P.B. PLAN BOOK
 - INV. INVERT
 - T.C.B. TOP CATCH BASIN
 - F.M.P. FIRM & PLUMB
 - A.G. ABOVE GRADE
 - B.G. BELOW GRADE
 - N/F. NOW OR FORMERLY
 - D.W.L.G. DWELLING
 - G.R. GARAGE
 - S.T. STORY

ZONING INFORMATION - LDR ZONE

MINIMUM LOT SIZE (SEPTIC SYSTEM)	2 ACRES
MINIMUM LOT SIZE (SERVED BY SEWER)	1.5 ACRES
MINIMUM LOT SIZE FOR DUPLEX OR MULTIPLEX (SEPTIC SYSTEM)	1.25 ACRES
MINIMUM LOT SIZE FOR DUPLEX OR MULTIPLEX (SERVED BY SEWER)	0.75 ACRES
MINIMUM LOT FRONTAGE	150 FEET
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM REAR YARD SETBACK	65 FEET (a)
MINIMUM SIDE YARD SETBACK	30 FEET (a) (b)

(a) SHEDS AND DRIVEWAYS ARE PERMITTED TO A MINIMUM SETBACK OF 15 FEET FROM SIDE AND REAR LOT LINES.
(b) COMBINED WIDTH AT LEAST 65 FEET



PLAN REFERENCES

1. PLAN ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY SGC ENGINEERING, LLC DATED MAY 22, 2003.

NOTES:

- NORTH AS SHOWN HEREON IS REFERENCED TO PLAN REFERENCE 1.
- WETLAND AS SHOWN HEREON WERE NOT Delineated OR LOCATED BY SGC ENGINEERING, LLC.
- DISTANCES SHOWN HEREON REPRESENT ACTUAL GROUND DISTANCES.
- THIS PLAT AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY SGC ENGINEERING, LLC PURSUANT TO A LETTER OF ENGAGEMENT BETWEEN MARY LANE, LLC AND SGC ENGINEERING, LLC.
- SGC ENGINEERING, LLC HAS PERFORMED OFFICE CHECKS OF THE EXTERIOR BOUNDARY AND INTERIOR LOTS OF THE SUBDIVISION. THE EXTERIOR BOUNDARY OF THE SUBDIVISION WAS SURVEYED BY SGC ENGINEERING, LLC AS DEPICTED IN MAP REFERENCE 1. INTERIOR LOTS DESIGNED BY LAND USE CONSULTANTS, INC.
- PROJECT AREA INCLUDES MAP U01 PARCEL 5 AND PORTIONS OF MAP U01 PARCEL 4 AND 6 AS NOTED HEREIN.
- WETLANDS BASED ON DATA PROVIDED BY MARK HAMPTON ASSOCIATES, INC. DATED MAY 2003.
- NO DISTURBANCE OF WETLANDS OTHER THAN THAT SHOWN ON PLAN IS PERMITTED WITHOUT MEDEP APPROVAL. WETLAND DISTURBANCE IS 3,239 SF WHICH IS LESS THAN THE 4,300 SF REQUIRED FOR A TIER 1 PERMIT.
- COMBINED MINIMUM SIDE YARD SETBACK SHALL BE 65' AS SET FORTH BY TOWN ZONING ORDINANCE. CONTRACTOR TO DETERMINE LOCATION SIDE YARD SETBACK.
- VARIABLE SEDGE (CAREX POLYMORPHA) WAS TRANSPLANTED TO A NEW LOCATION ON THE EASTERN PORTION OF THE PROJECT SITE ON OCTOBER 30, 2003 BY EXPERT LANDSCAPING UNDER THE SUPERVISION OF STOCKWELL ENVIRONMENTAL CONSULTING.
- FURTHER SUBDIVISION OF LOTS IS PROHIBITED WITHOUT PLANNING BOARD APPROVAL.
- THE LOTS SHALL CONSIST OF A MAXIMUM OF 15% IMPERVIOUS AND 30% LAWN AREAS. THE REMAINDER OF THE LOT SHALL REMAIN UNDISTURBED OR BE REVEGETATED AS PLANTING BEDS OR GARDENS.
- APPROVAL OF THIS SUBDIVISION PLAT INCLUDES BY REFERENCE THE SUBDIVISION PLAN SET ENTITLED "MARY LANE SUBDIVISION" PREPARED BY LAND USE CONSULTANTS, SHEETS C-1 THROUGH C-15 DATED 6/24/03, REVISED THROUGH 11/25/03 AND ANY SUBSEQUENT REVISIONS.
- APPROVAL OF THIS SUBDIVISION PLAT INCLUDES BY REFERENCE THE SUBDIVISION PLAT ENTITLED "SUBDIVISION RECORDING PLAT", PREPARED BY LAND USE CONSULTANTS, SHEET 1 OF 1, DATED 11-25-03, REVISED THROUGH 05-14-04, RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 309.
- THE PROPOSED DRAINAGE EASEMENT OVER LOT 1 AS SHOWN ON THE SUBDIVISION RECORDING PLAT ON FILE AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 309 HAS BEEN REMOVED FROM LOT 1 AND INCORPORATED INTO THE NEWLY CONFIGURED PARCEL H AS SHOWN HEREON.

APPROVED WAIVERS:

- A WAIVER OF SUBDIVISION ORDINANCE 8.2 (B) TABLE 8-2 WHICH REQUIRES A MINIMUM TANGENT BETWEEN CURVES OF REVERSE ALIGNMENT OF 150 FEET FOR RESIDENTIAL ACCESS ROADS TO 105 FEET.
- A WAIVER OF SUBDIVISION ORDINANCE 8.2 (B) TABLE 8-2 WHICH REQUIRES A MINIMUM PAVEMENT WIDTH OF A URBAN RESIDENTIAL ACCESS ROAD W/CURBING OF 28 FEET TO A WIDTH OF 22 FEET.

GROSS PROJECT AREA COMPUTATION:

GOODRICH PARCEL = 23.40 ACRES
(+) PARCEL A (REVISED) = 0.94 ACRES
(-) PARCEL B (REVISED) = 0.29 ACRES
(+) PARCEL D = 0.01 ACRES
(+) PARCEL E = 1.54 ACRES

GROSS PROJECT AREA = 25.60 ACRES

NET RESIDENTIAL ACREAGE/DENSITY:

GROSS AREA: 25.60 (BASED ON SURVEY BY SGC, MAY 2003)
-15% (ROADS) 3.84 ACRES
-SLOPES >20% 1.58 ACRES
-WETLANDS 1.68 ACRES
NET DEVELOPMENT AREA 18.50 ACRES/65,340 SF PER LOT (W/SEWER) = 12.33 LOTS

PROPERTY ZONED LDR (LOW DENSITY RESIDENTIAL DISTRICT):

MIN. LOT AREA 0.69 ACRES (30,000 SF) W/SEWER (CLUSTER)
MIN. FRONTAGE 75 FT (CLUSTER)
SETBACKS 50 FY
65 RY
30 SY (COMBINED WIDTH AT LEAST 65 FT)

25% OPEN SPACE REQUIREMENTS:

-OPEN SPACE REQUIRED 25.60 ACRES*0.25 = 6.40 ACRES
-OPEN SPACE PROVIDED = 8.83 ACRES

LEGEND

EXISTING	PROPOSED
	ROW
	PROPERTY LINE
	ROADWAY CENTERLINE
	BUILDING SETBACK
	EASEMENT
	LOT LINE
	EDGE OF PAVEMENT
	BIT CURB
	BUILDING
	SIDEWALK RAMP
	IRON PIPE FOUND (I.P.)
	FIND REBAR W/CAP
	FOUND GRANITE MONUMENT
	TOWN MONUMENT
	TO BE SET GRANITE MONUMENT
	TO BE SET REBAR W/ CAP
	WETLANDS
	STREAM-PERENNIAL
	RETAINING WALL

LAND TRANSFER

PARCEL A (REVISED) - 0.94 ACRES FROM GORMAN INTO PROJECT (MAP U01 LOT 4)
PARCEL B (REVISED) - 0.29 ACRES FROM PROJECT INTO GORMAN (MAP U01 LOT 4)
PARCEL D - 0.01 ACRES FROM LAURA AND STEPHEN GOODRICH (MAP U01 LOT 6) TO PROJECT (GOODRICH)
PARCEL E - 1.54 ACRES FROM LAURA AND STEPHEN GOODRICH (MAP U01 LOT 6) TO PROJECT (GOODRICH)

LINE	LENGTH	BEARING
1	59.53	S71°00'00"E
2	95.58	N76°55'25"W
3	44.15	N76°55'25"W
3A	13.60	S48°24'40"E
4	3.90	N20°00'01"E
5	67.64	S48°24'40"E
6	26.58	N76°55'25"W
7	59.36	S71°00'00"E
14	14.53	N24°28'51"E
15	53.72	S67°12'37"E
17	60.46	N48°24'40"W
18	174.57	S41°09'56"E
19	18.42	S19°06'22"W
20	28.34	S19°06'22"W
21	3.99	N76°55'25"W
22	0.26	N49°32'08"W

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
1	20.00	31.38	19.96	28.26	N64°03'11"E	89°53'38"
2	175.00	78.38	39.86	77.73	S68°10'08"E	25°39'44"
3	275.00	92.14	46.51	91.71	N67°19'30"W	19°11'50"
4	375.00	71.59	35.90	71.48	S71°27'17"E	10°56'16"
5	375.00	33.70	16.86	33.69	S60°59'08"E	5°08'57"
6	425.00	64.39	32.26	64.33	N52°45'51"W	8°40'52"
7	425.00	131.22	66.13	130.69	N65°56'14"W	17°41'23"
8	70.00	37.76	19.35	37.30	S89°45'51"W	30°54'23"
9	70.00	108.25	66.32	97.78	S30°00'28"W	88°36'28"
10	70.00	146.62	121.27	121.25	S74°18'06"E	120°00'41"
11	70.00	29.44	14.94	29.22	N33°38'42"E	24°05'42"
12	20.00	30.30	18.92	27.49	S61°48'38"W	86°48'55"
13	375.00	124.54	62.85	123.97	N65°15'01"W	19°01'44"
14	375.00	48.05	24.06	48.02	N52°04'55"W	72°03'31"
15	425.00	99.91	50.19	99.68	S55°08'45"E	13°28'10"
16	425.00	111.58	56.11	111.26	S69°24'07"E	15°02'35"
17	225.00	124.04	63.64	122.47	N61°07'50"W	31°35'09"
18	225.00	100.78	51.25	99.94	S58°10'08"E	25°39'44"
19	20.00	31.45	20.04	28.31	N51°52'40"W	1°13'19"
26	275.00	55.33	27.76	55.23	N51°52'40"W	1°13'19"
27	375.00	81.33	40.82	81.17	S59°46'23"E	12°25'32"
28	275.00	10.12	5.06	10.12	N56°40'20"W	2°06'31"
29	275.00	45.21	22.65	45.16	N50°54'30"W	9°25'08"
30	275.00	4.38	2.19	4.38	N45°44'32"W	0°54'48"

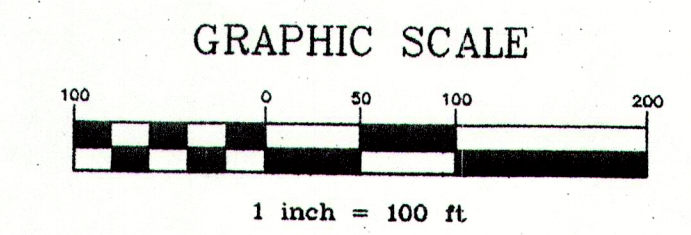


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Westbrook, Maine 04092
P.O. Box 470 Westbrook, 04092
Tel: 207-347-8100
Fax: 207-347-8101

- Civil Design & Survey Engineering
- Environmental & Regulatory Permitting
- Electrical Power Systems Engineering

APPROVED BY TOWN OF CUMBERLAND PLANNING BOARD: (DATE)
Bob Land
Chris
Don
Thomas
Mark

SEAL
Timothy
7/20/04



FOR REGISTRY OF DEEDS
State of Maine, Cumberland 88.
Registry of Deeds
Received Aug 30, 20 04
at 11:16 a.m. P.M. and recorded in
Plan Book 204 Page 632
Attest:
John B. O'Brien

engineers
planners
architects

866 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878-1111
Fax (207) 878-1112
e-mail: info@landinc.net
Land Use Consultants, Inc.

MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND, ME
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, ME 04096

Revision	Date
REVISION 1	12/05/03
MODIFIED LOT COVERAGE TO 30% LAWN AND 15% IMPERVIOUS	05/14/04
REVISED PARCEL A AND ADDED LOT 13 BY PURCHASE OF GORMAN LAND	05/29/04
NO REVISIONS	07/13/04
REVISED PER SGC COMMENTS	07/20/04

Designed TDD
Drawn TDD
Checked FUL
Scale 1" = 100'
Date 11-25-03

SUBDIVISION
RECORDING PLAT

Job No. 4178.1
Sheet 1 of 1

J:\JSD\Proj\4176\dwg\05-17-04 Dm\4176-BASE.dwg 2-SITE ANALYSIS 6/28/2004 9:38:30 AM

SITE ANALYSIS NOTES:

1. RARE/ENDANGERED PLANT FIELD INSPECTION CONDUCTED BY STOCKWELL ENVIRONMENTAL CONSULTING, JUNE 2003.

PLANTS & COMMUNITIES IDENTIFIED (COMMON NAMES): MAINE N.A.P. RATING
A1 BLACK GUM - "HEMLOCK HARDWOOD POCKET SWAMP" S2
B1 WHITE FLOWERED TRILLIUM E
C1 MOUNTAIN LAUREL SC
D1 VARIABLE SEED E

2. NORTH AMERICAN CHESTNUT SAPLINGS FOUND THROUGHOUT SITE (RATING SC). NO PRESERVATION REQUIRED.

[PINE RIDGE SUBDIVISION]

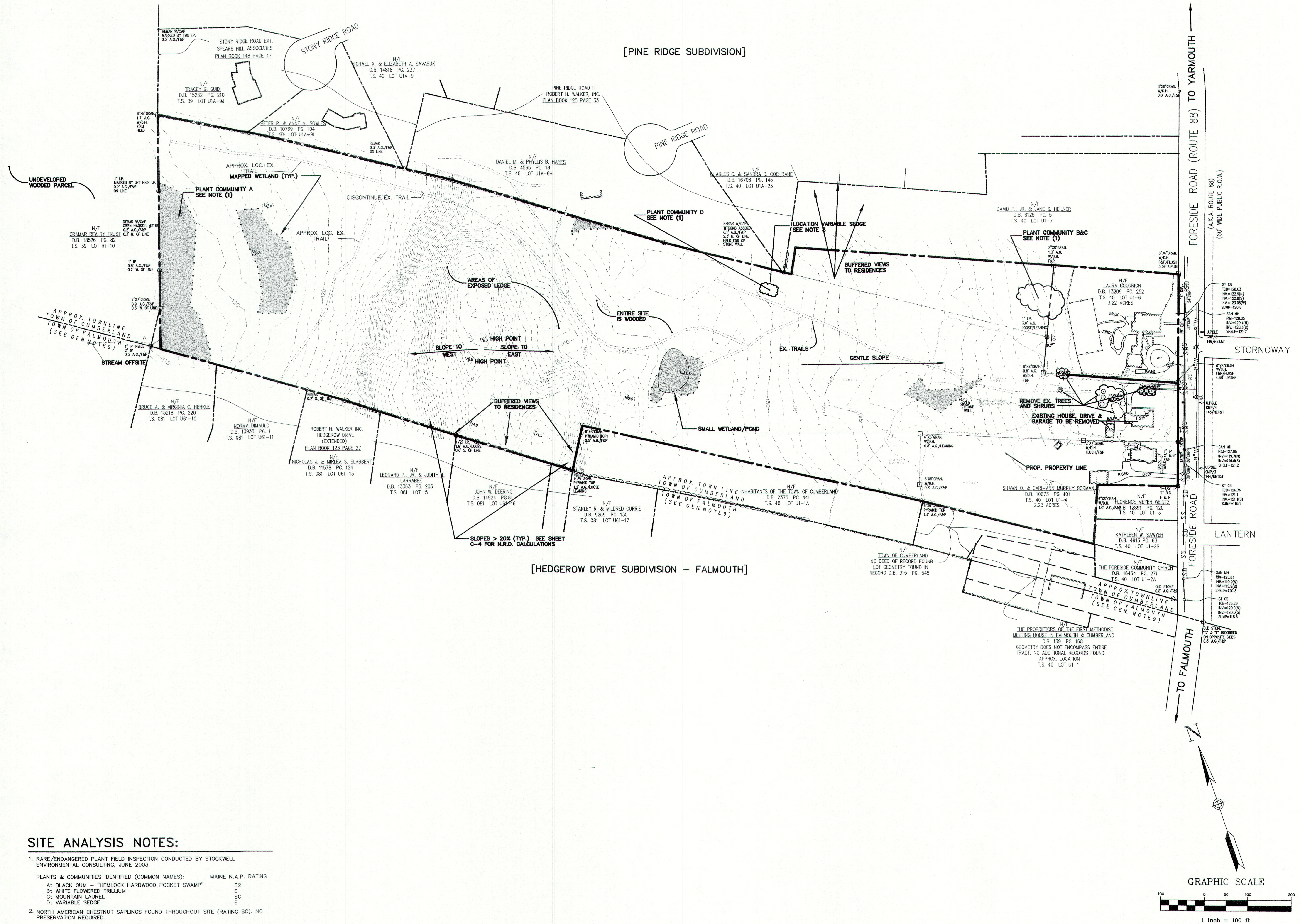
[HEDGEROW DRIVE SUBDIVISION - FALMOUTH]

SITE
ANALYSIS
PLAN

Job No. 4176.1
Sheet

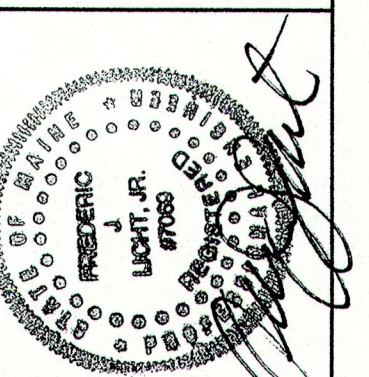
C-2

SEE SHEET C-1 FOR LEGEND & GENERAL NOTES.



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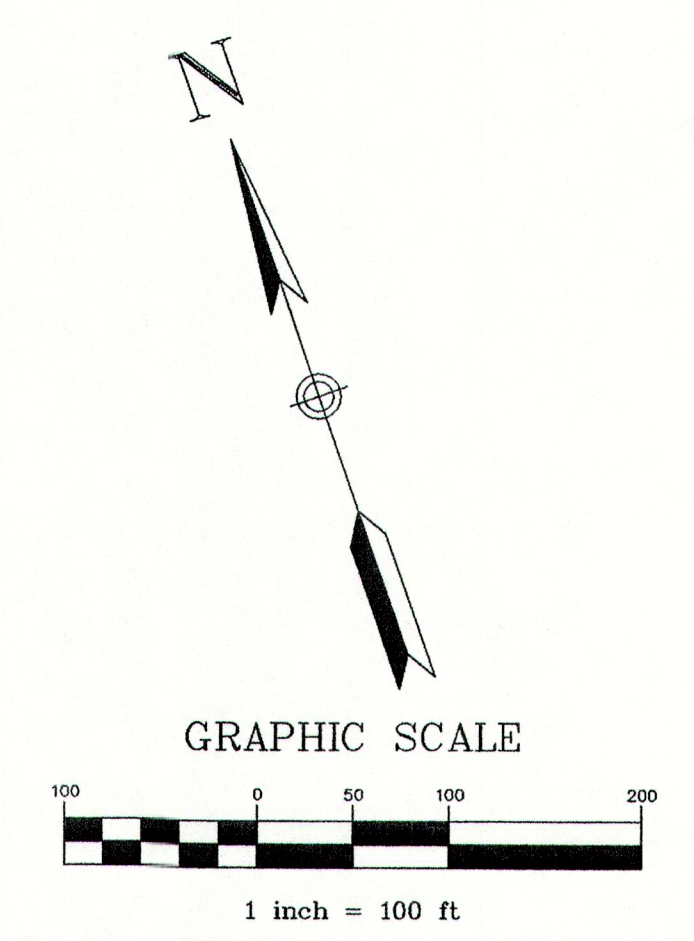
666 INVERSIDE STREET
PORTLAND, MAINE 04103
Phone (207) 878-3313
Fax (207) 878-0001
e-mail: info@luc.com

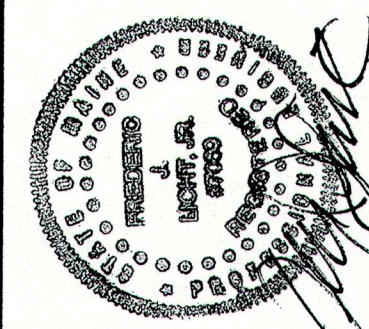
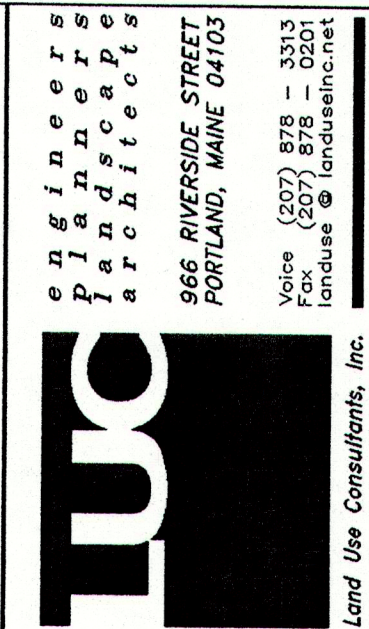
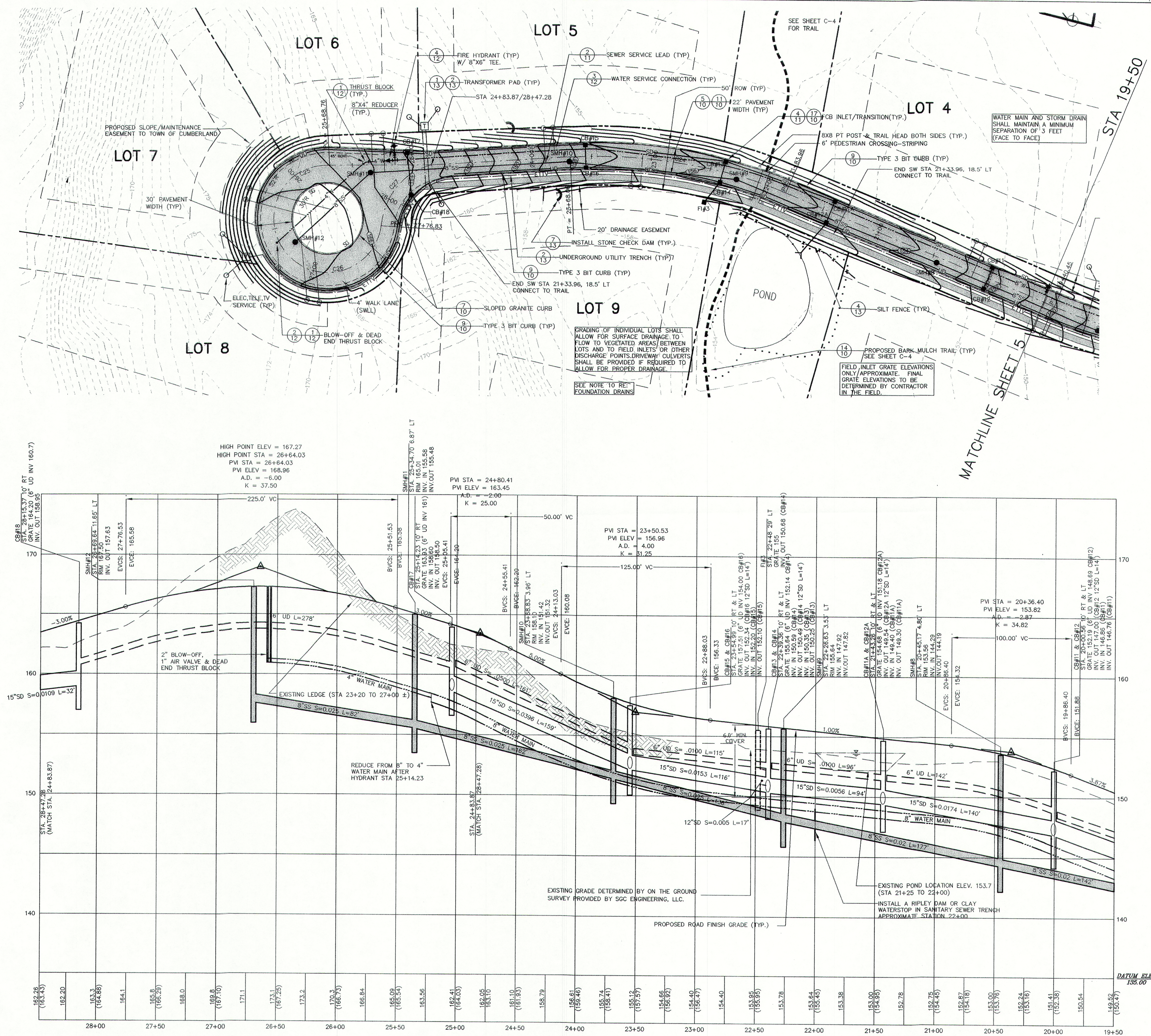


MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, ME 04096

Revision	Date
NO REVISIONS	07/15/03
REV PER MARK HAMPTON ASSOC./	08/05/03
CONSERVATION COMMENTS	08/17/03
NO REVISIONS	11/25/03
NO REVISIONS	12/16/03
NO REVISIONS	05/14/04
NO REVISIONS	06/29/04
NO REVISIONS	07/13/04

Designed TDD
Drawn TDD
Checked FJL
Scale 1" = 100'
Date 6-24-03





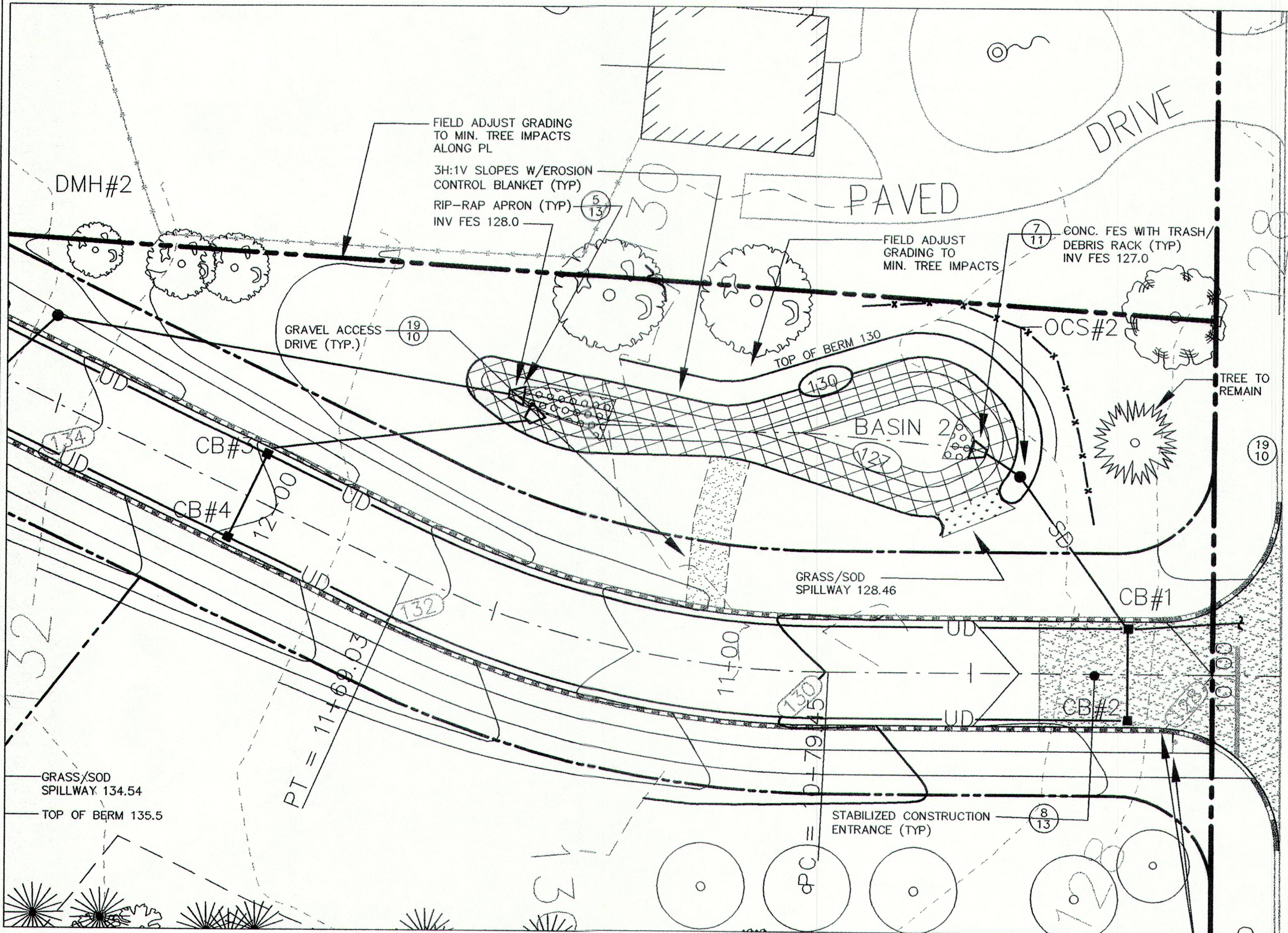
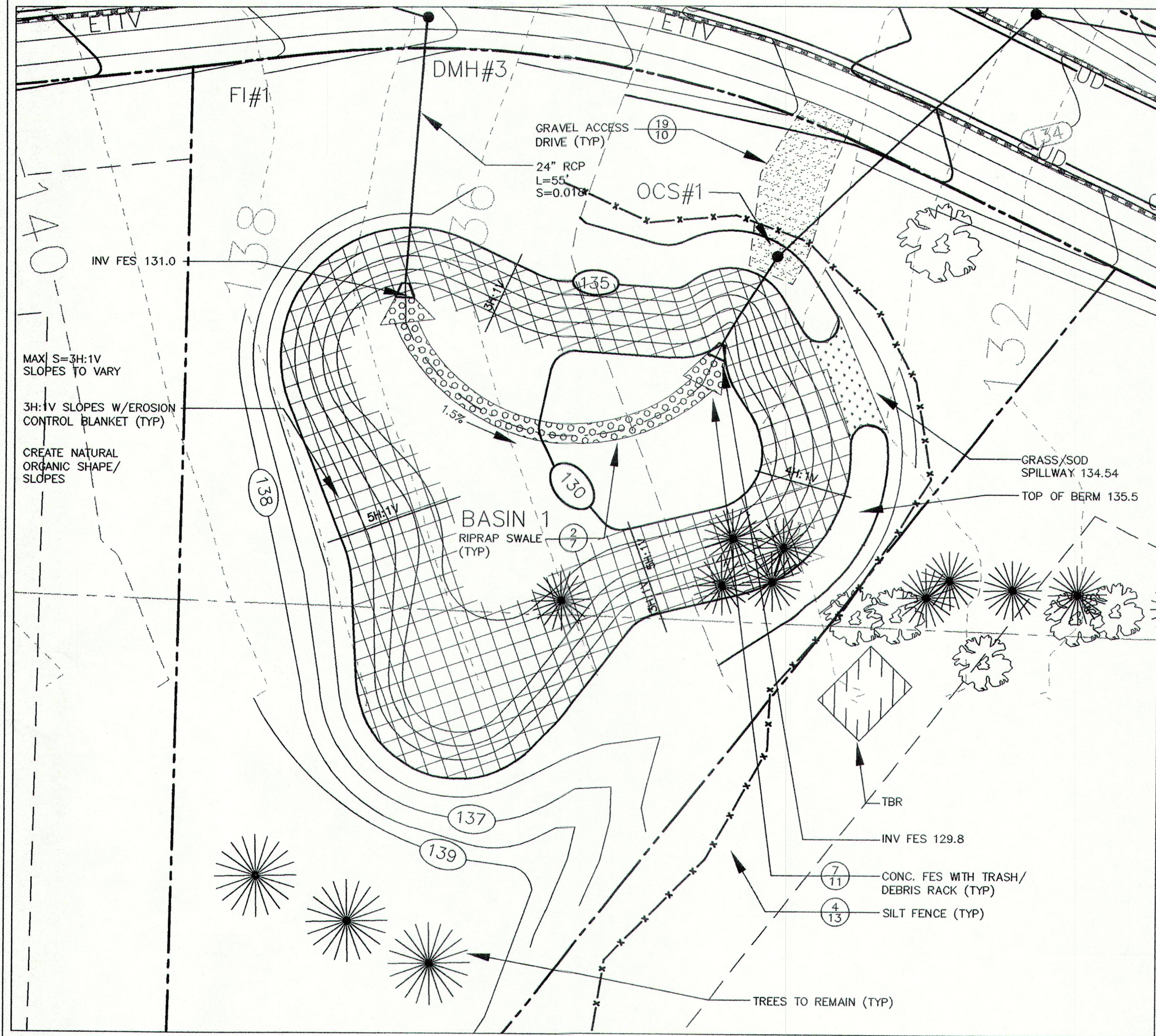
MARY LANE SUBDIVISION
 12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
 PREPARED FOR RECORD OWNER
MARY LANE, LLC C/O STEPHEN GOODRICH
 815 PRINCES POINT ROAD
 YARMOUTH, ME 04096

Designed TDD	Revision	Date
Drawn TDD	NO REVISIONS	07/15/03
Checked FUL	REVISED PER MARK HAMPTON	08/05/03
Scale 1" = 40'	ASSOC./CONSERV. COMMENTS	08/17/03
Date 6-24-03	REV PER DESIGN REVIEW COMMENTS	08/17/03
	REV PER DESIGN REVIEW COMMENTS	08/24/03
	FINAL SUBMITTAL	11/25/03
	NO REVISIONS	12/16/03
	WTR MAIN & SD REVS PER PWD ADJ CB #7	05/14/04
	NO REVISIONS	06/23/04
	NO REVISION	07/15/04

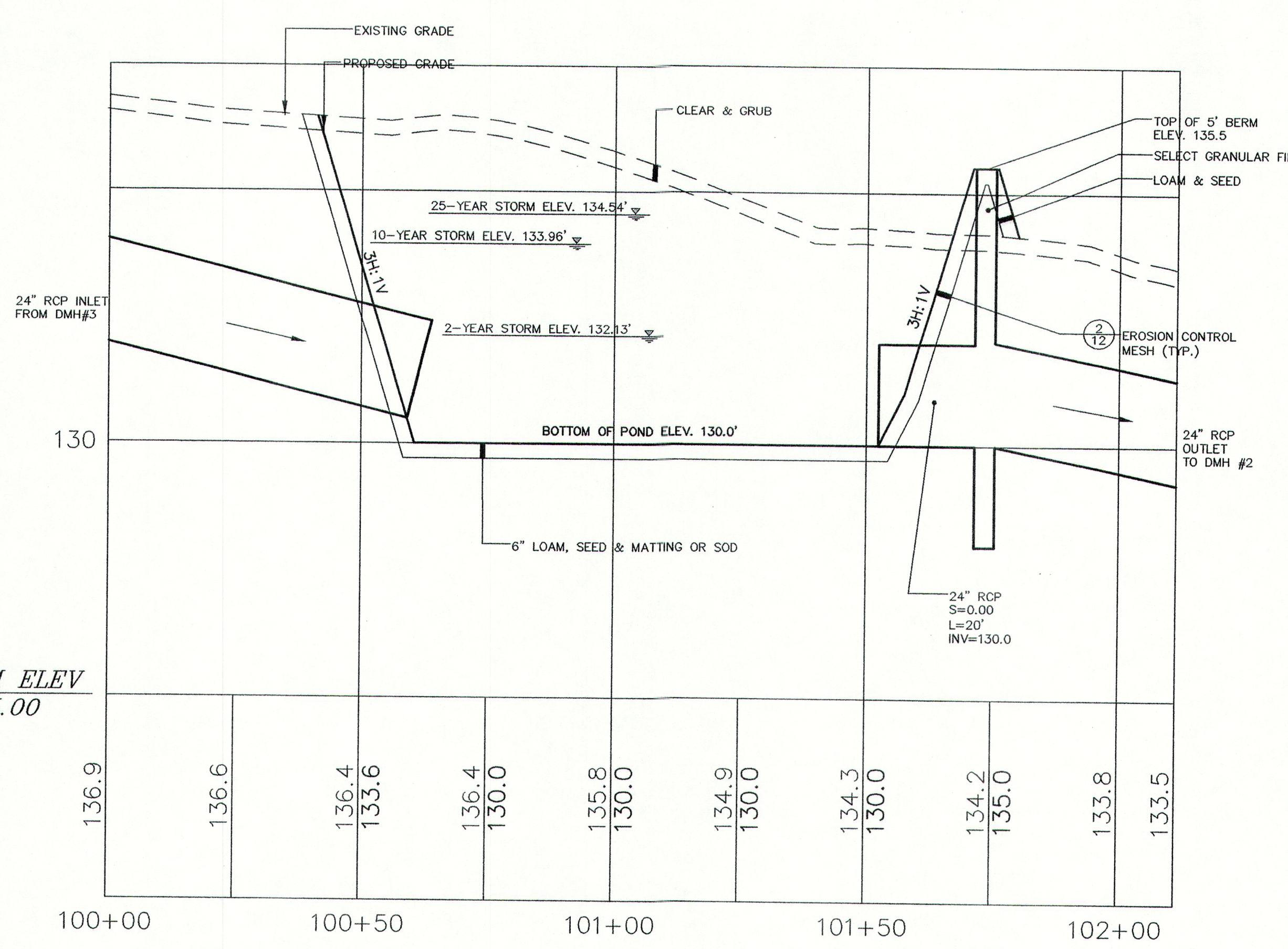
MARY LANE ROAD
PLAN & PROFILE

Job No. 4178.1
 Sheet

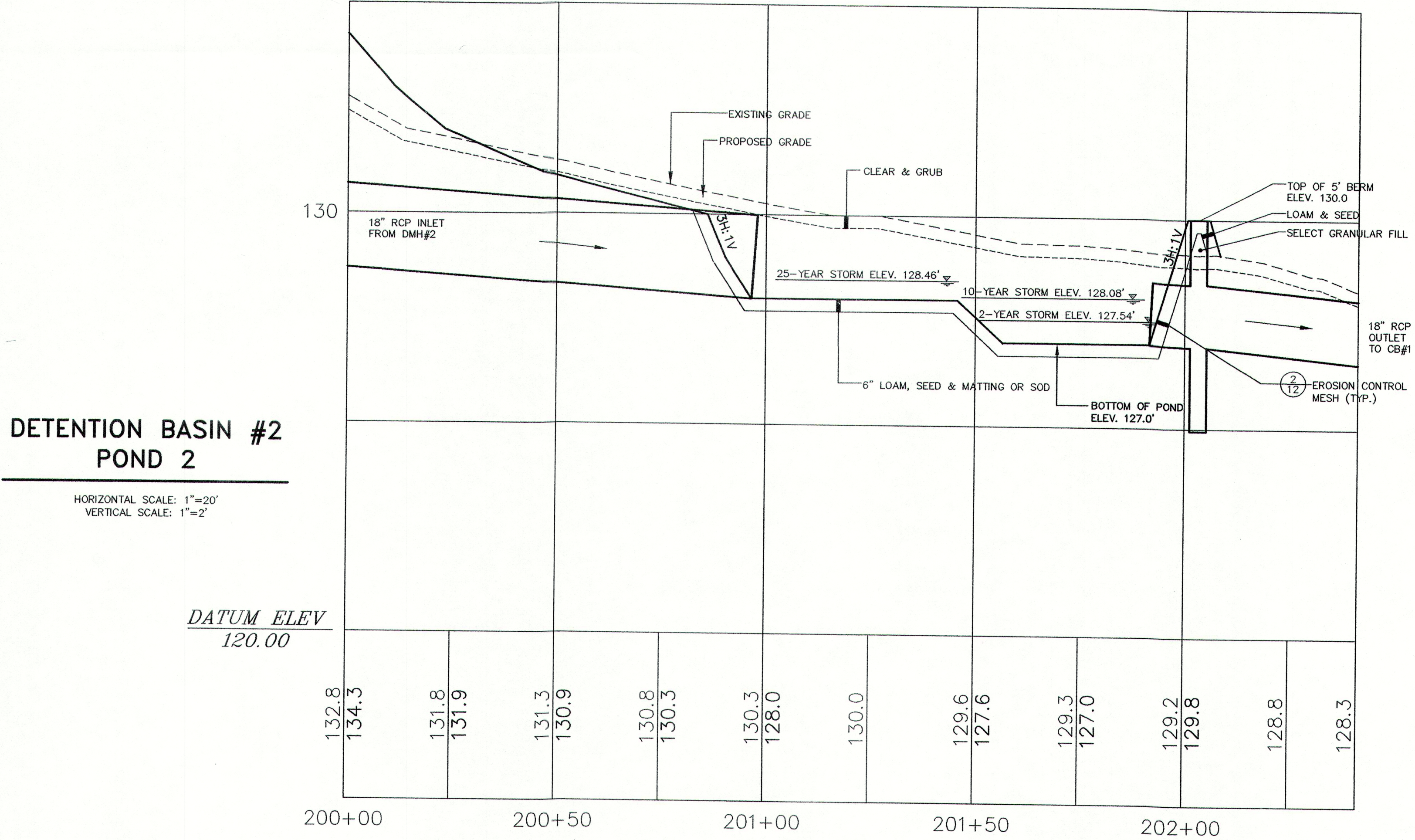
C-6



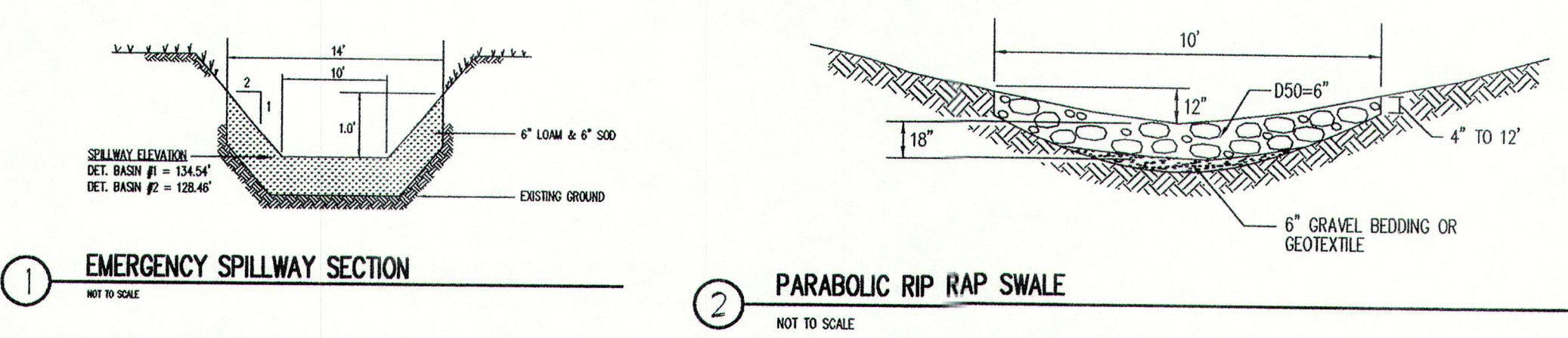
NOTE:
SEE ALSO SHEET C-5 FOR ADDITIONAL STORMDRAIN UTILITY DETAILS @ ENTRANCE.



**DETENTION BASIN #1
POND 1**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



**DETENTION BASIN #2
POND 2**
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



SEE SHEET C-1 FOR LEGEND & GENERAL NOTES.

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866 RIVERSIDE STREET
PORTLAND, MAINE 04103
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E-mail: info@tpoengineers.com

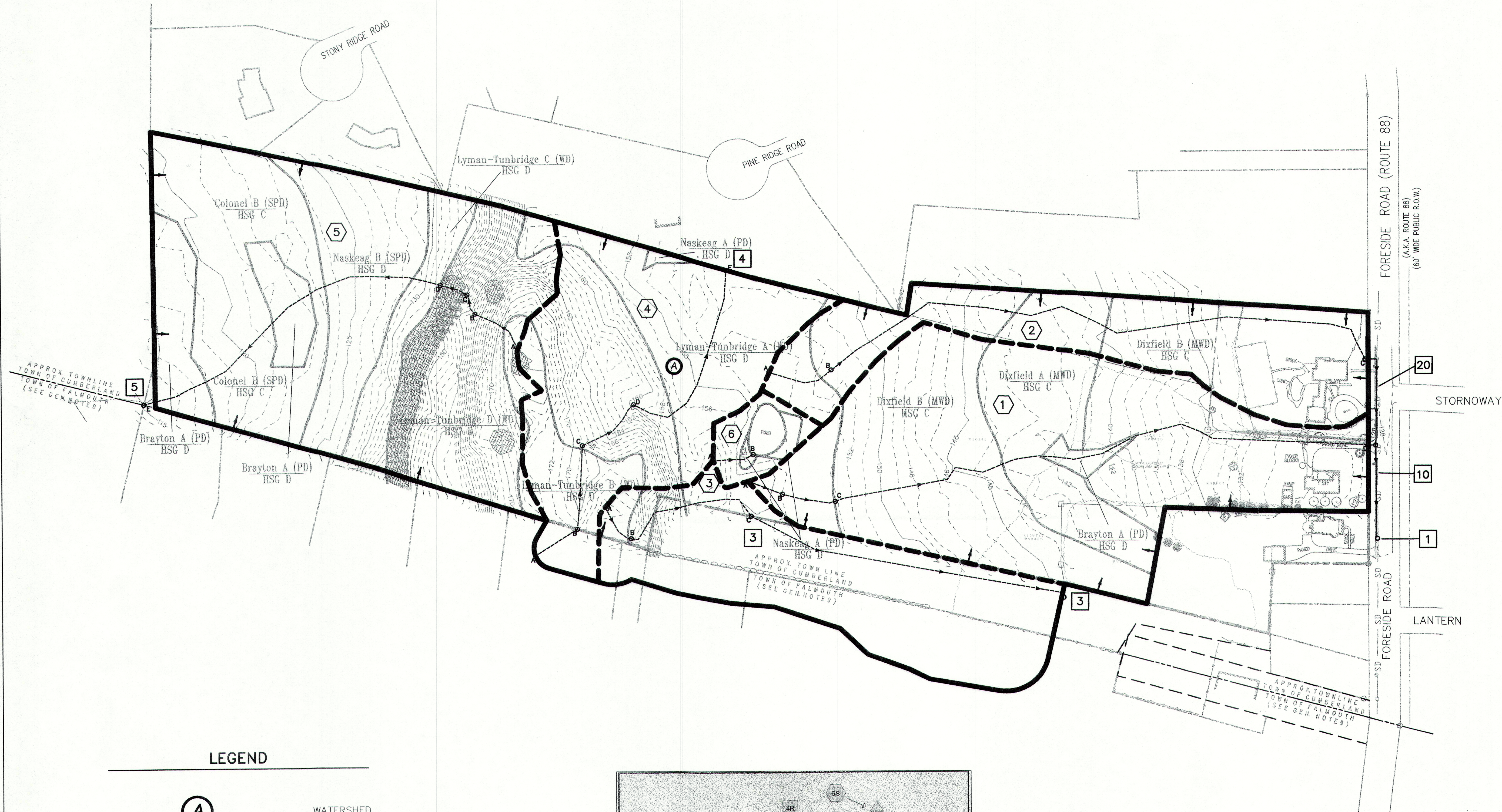
MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
875 PRINCES POINT ROAD
YARVOUTH, ME 04096

**STORMWATER
DETAILS**

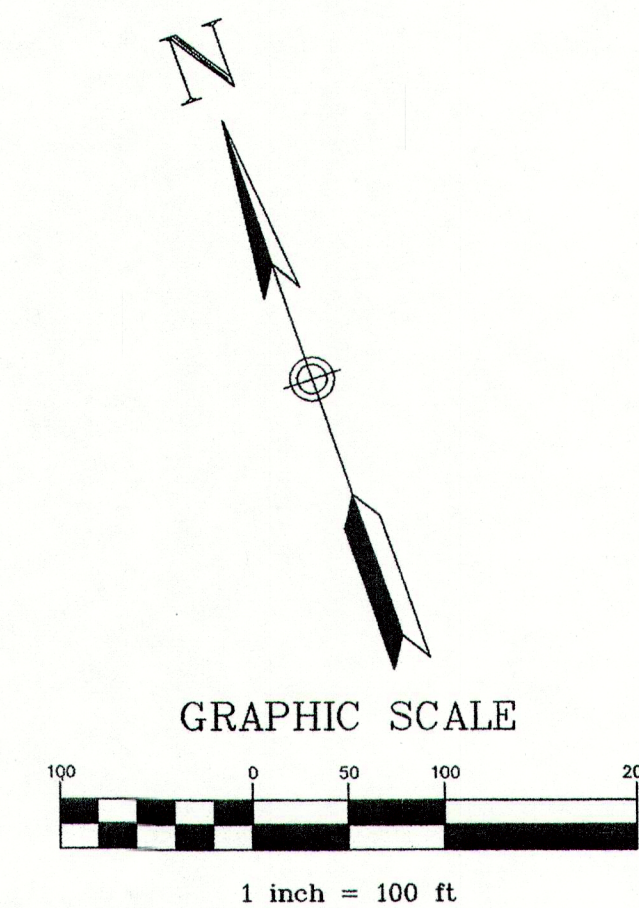
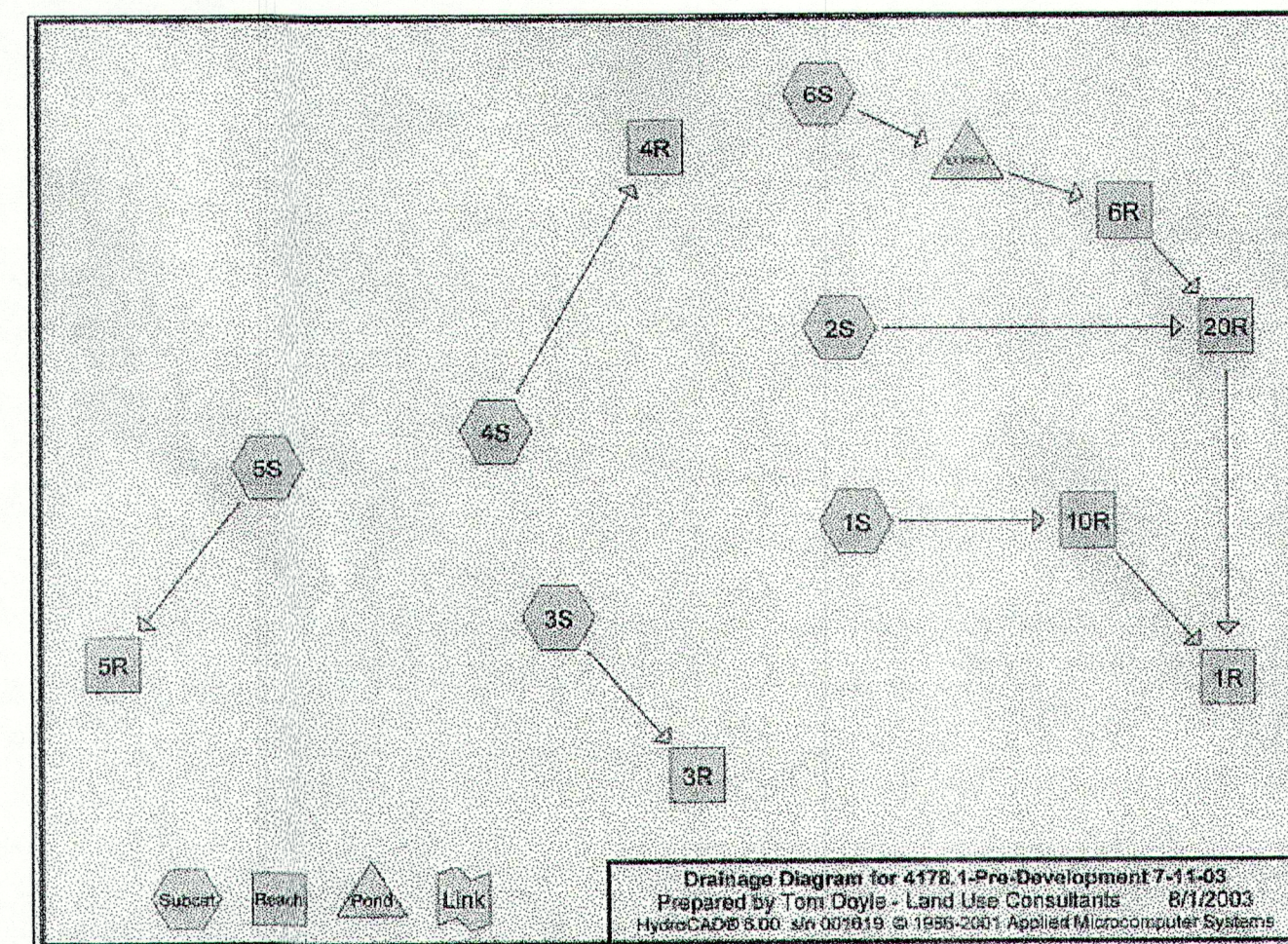
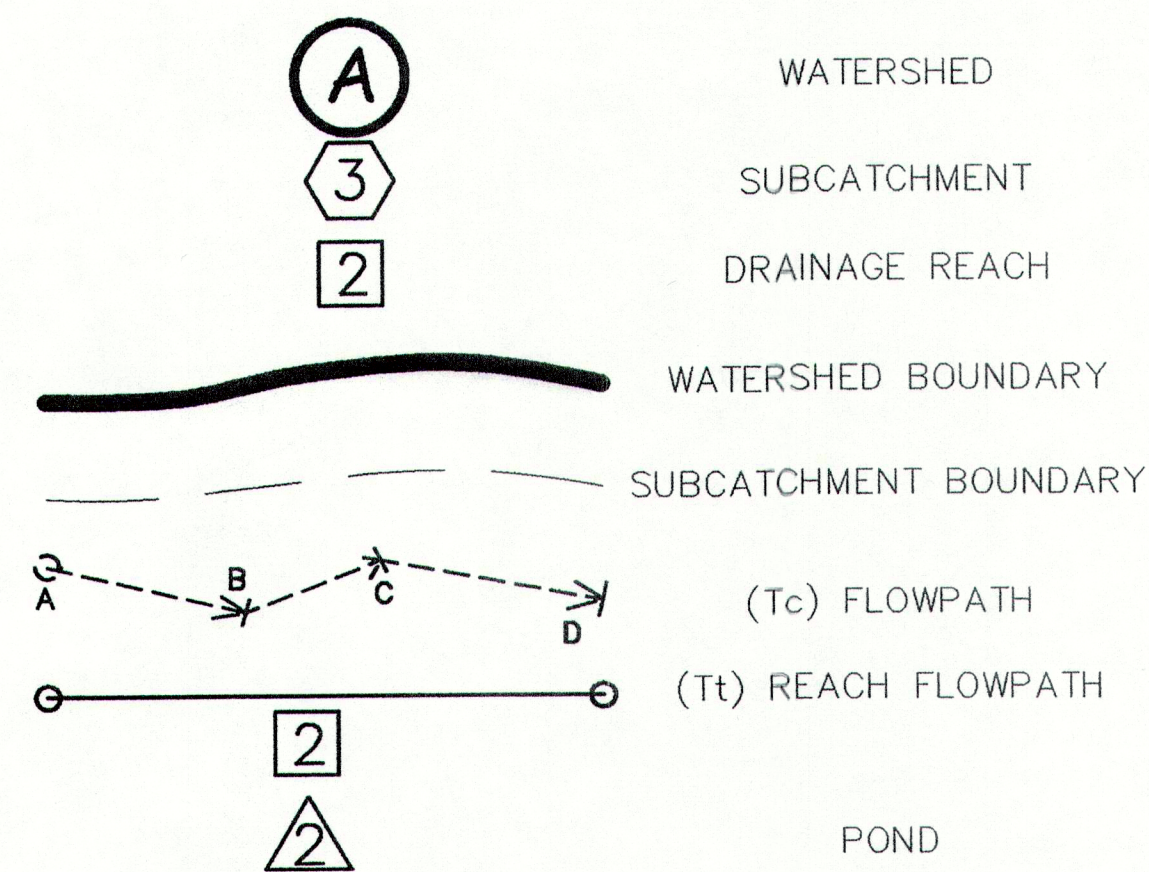
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Sheet
C-1

Revision	Date
NO REVISIONS	07/15/03
REVISED FOR PLANNING BOARD	08/05/03
SUBMITTAL	09/17/03
REV PER DESIGN REVIEW COMMENTS	11/25/03
FINAL SUBDIV. SUBMISSION	12/16/03
NO REVISIONS	05/14/04
REVISED POND LAYOUTS	06/29/04
REVISED POND GRADING/LAYOUTS	07/13/04

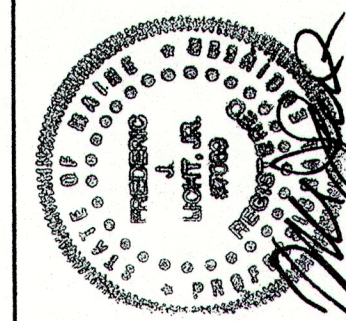
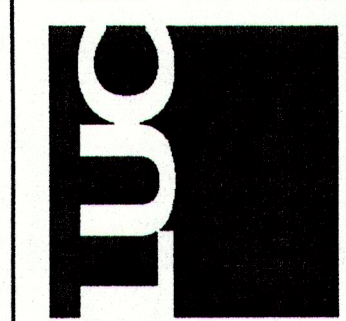
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LEGEND



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966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878-3233
Fax (207) 878-3235
tandem@landuseinc.net



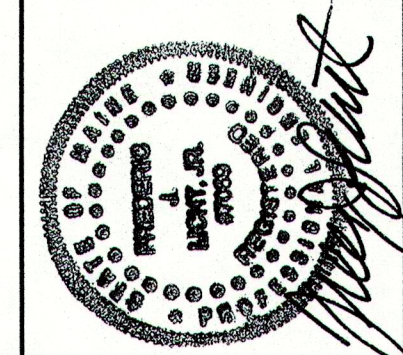
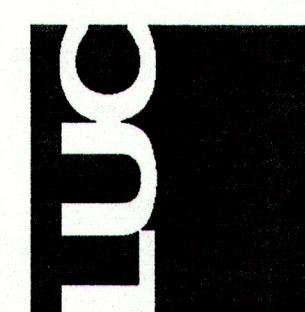
MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
PREPARED FOR RECORD OWNER:
MARY LANE LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, ME 04096

Revision	Date
NO REVISIONS	07/15/03
REVISED PER MARK HAMPTON	08/05/03
ASSOC./CONSTR. COMMENTS	09/17/03
NO REVISIONS	09/17/03
REV PER STUDIOSIGN DESIGN REVIEW	10/16/03
FINAL SUBDY. SUBMISSION	12/23/03
NO REVISIONS	05/14/04
NO REVISIONS	08/29/04
NO REVISIONS	07/14/04

PRE-DEVELOPMENT
DRAINAGE PLAN

Job No. 4178.1
Sheet

C-8



2 FORESIDE ROAD, CUMBERLAND FORESIDE, ME

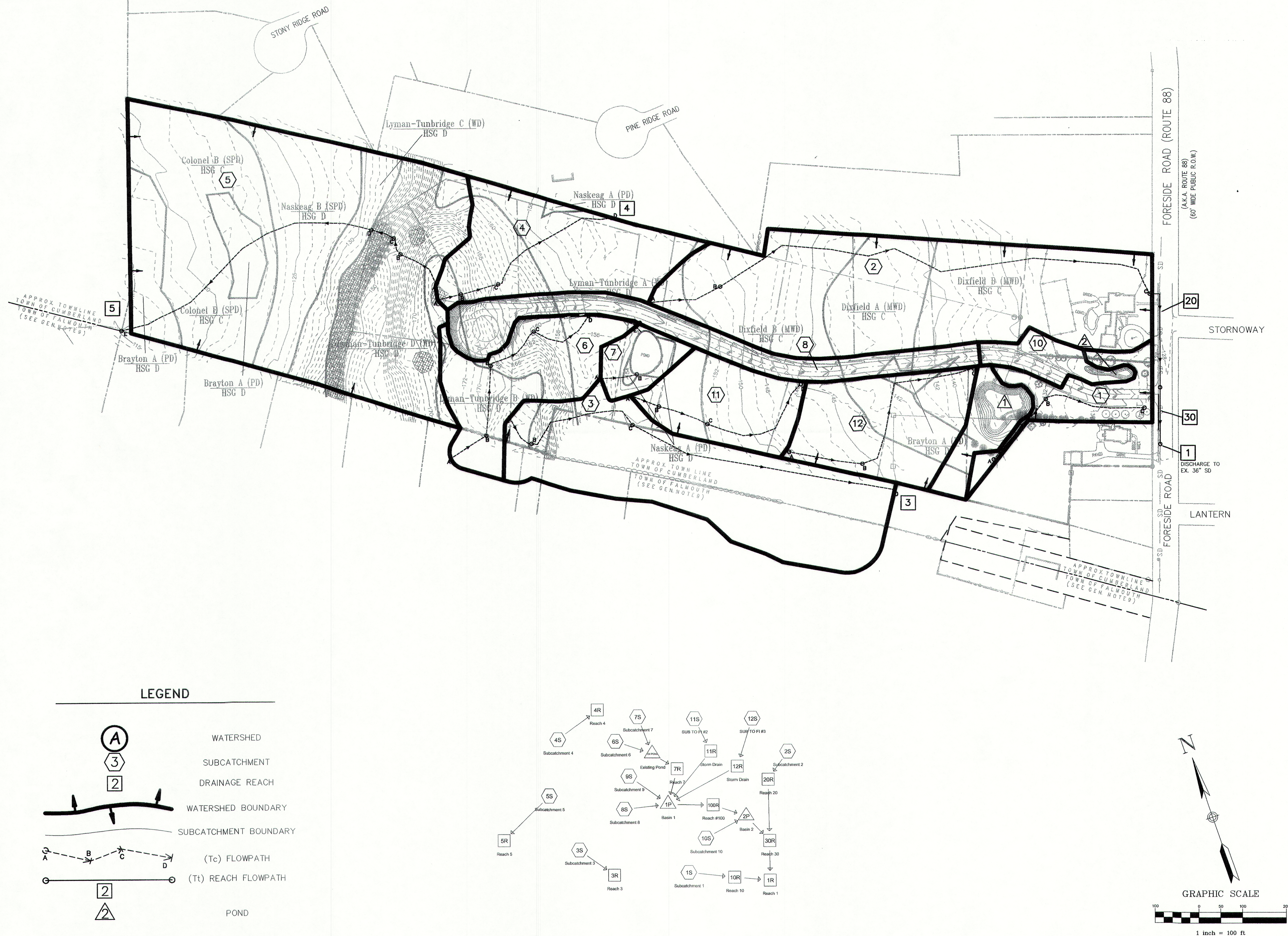
PREPARED FOR RECORD OWNER:
MARY LANE LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, ME 04096

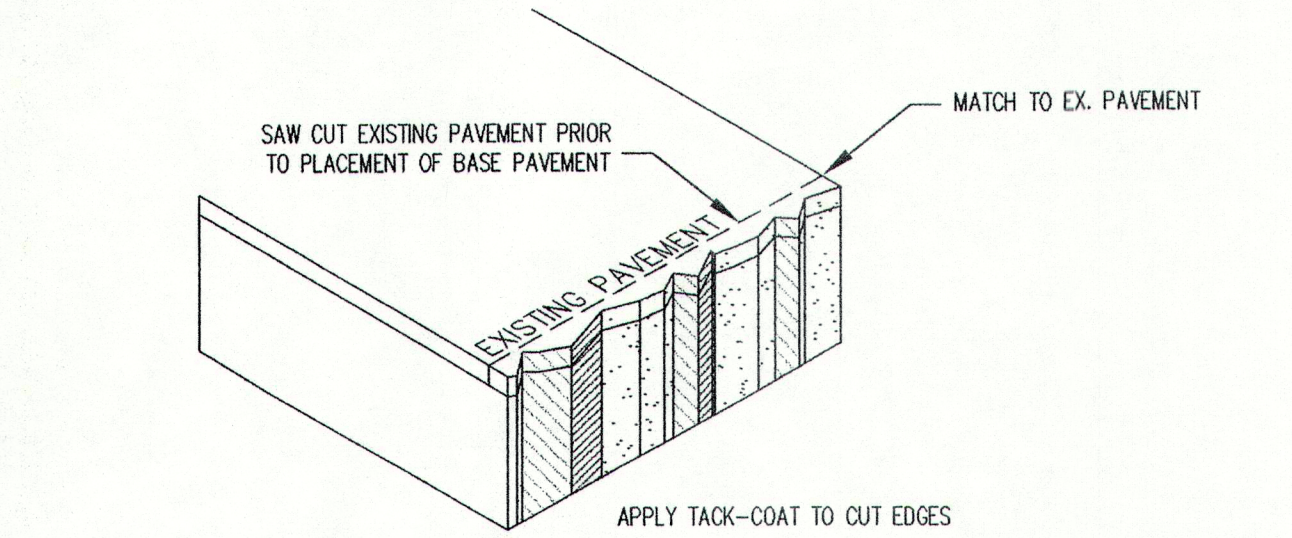
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Drawn TDD	NO REVISIONS	07/15/03
Checked FJL	NO REVISIONS PER MARK HAMPTON	08/05/03
Scale 1" = 100'	ASSOC./CONSERV. COMMENTS	08/17/03
Date 6-24-03	REVISIONS PER DESIGN REVIEW	09/17/03
	FINAL SURV. DESIGN REVIEW	10/15/03
	REV. SURV. SUBMISSION	12/16/03
	NO REVISIONS	05/14/04
	NO REVISIONS	06/23/04
	REV. FOR REVISED BASINS	07/13/04

POST-DEVELOPMENT DRAINAGE PLAN

Job No.	4178
Sheet	

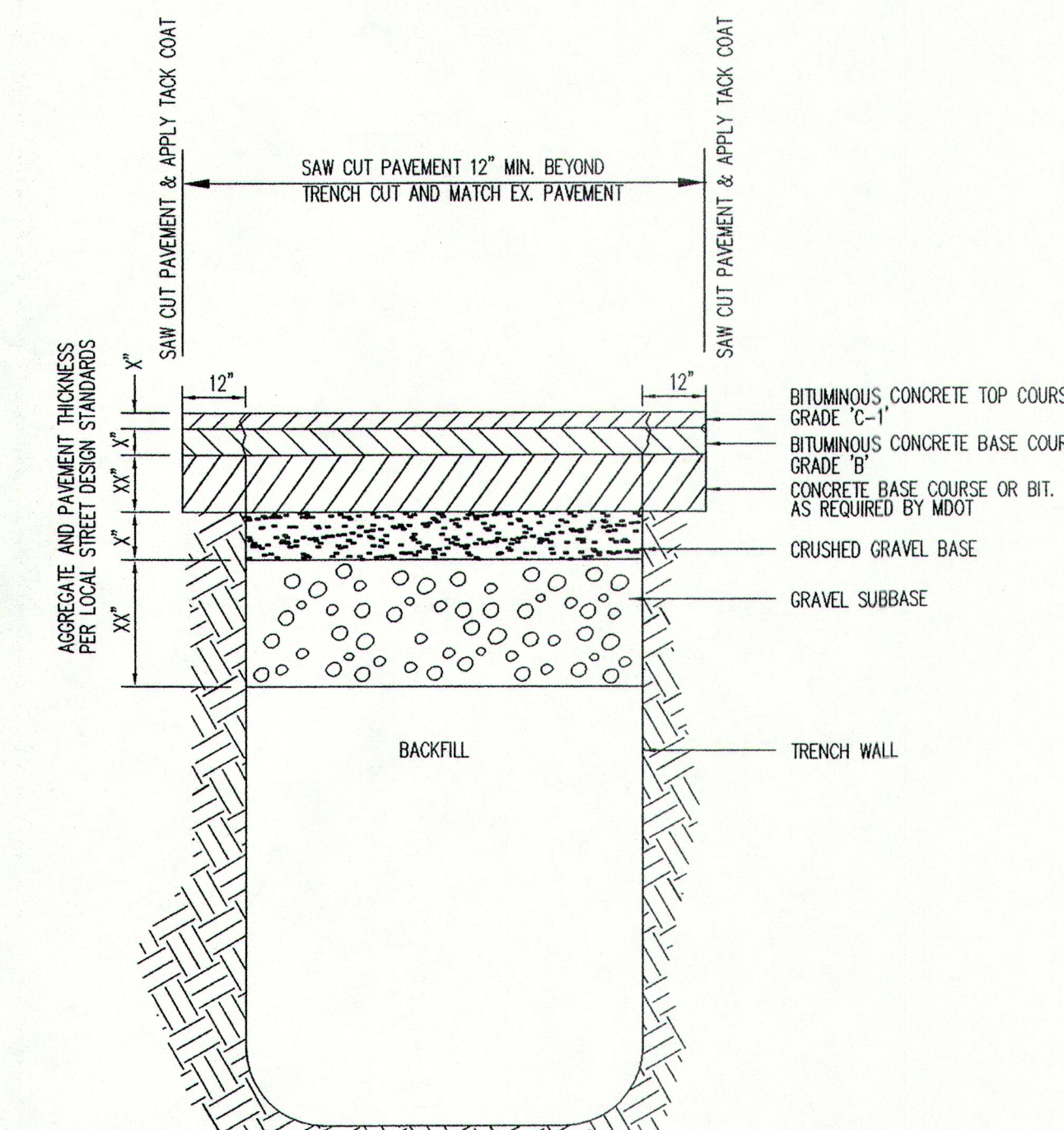
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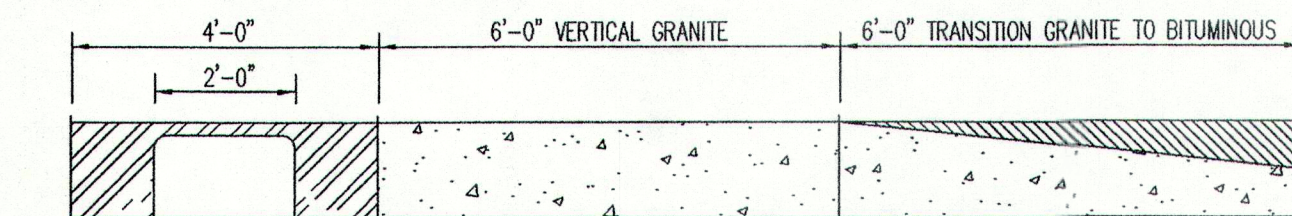
15 PAVEMENT SAWCUT

NOT TO SCALE



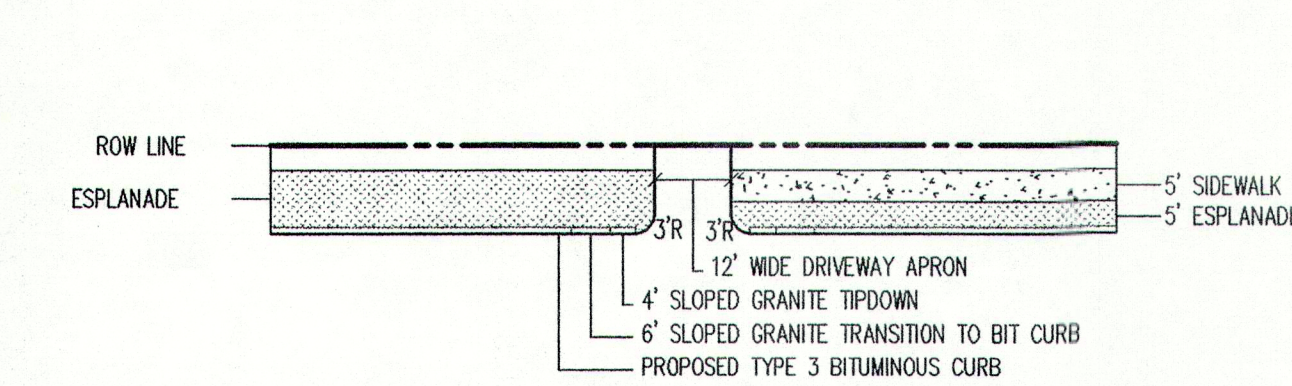
16 EXISTING STREET TRENCH REPAIR DETAIL (ROUTE 88)

NOT TO SCALE



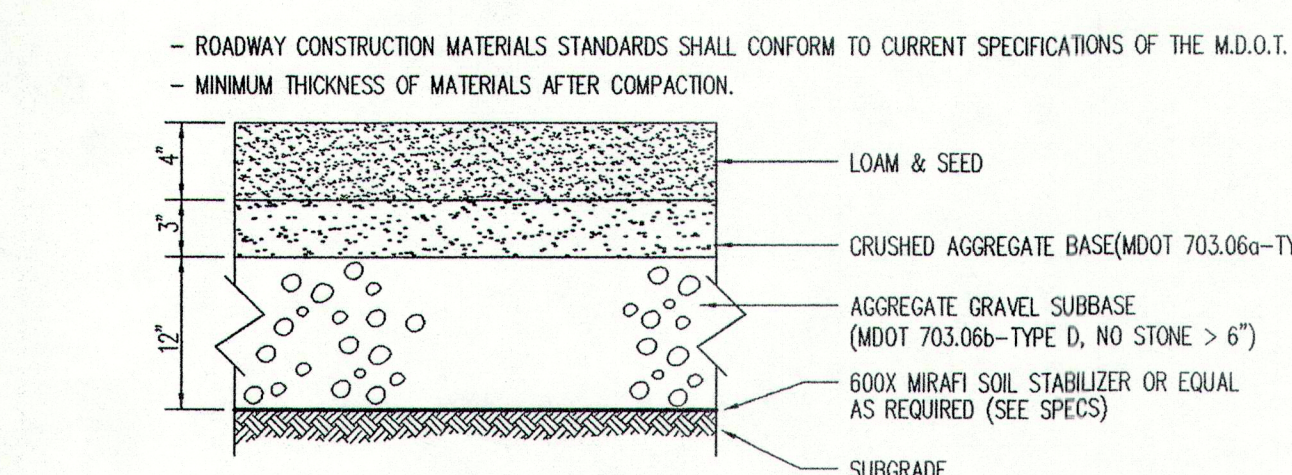
17 GRANITE HEADSTONE TRANSITION

NOT TO SCALE



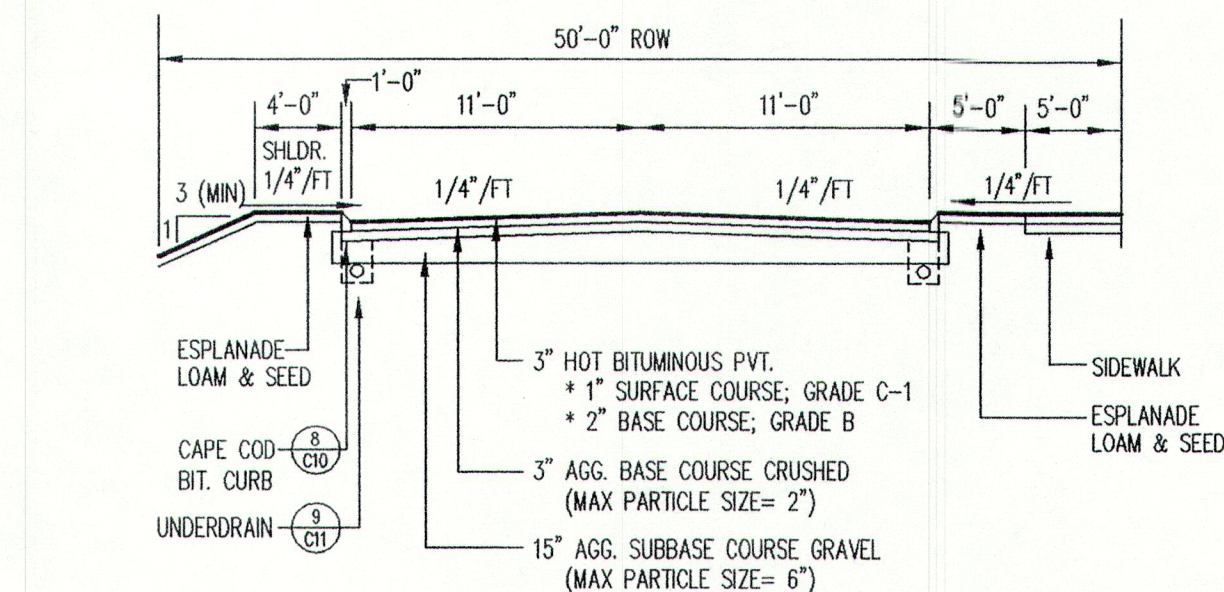
18 DRIVEWAY APRON LAYOUT

NOT TO SCALE



19 GRAVEL ACCESS DRIVE

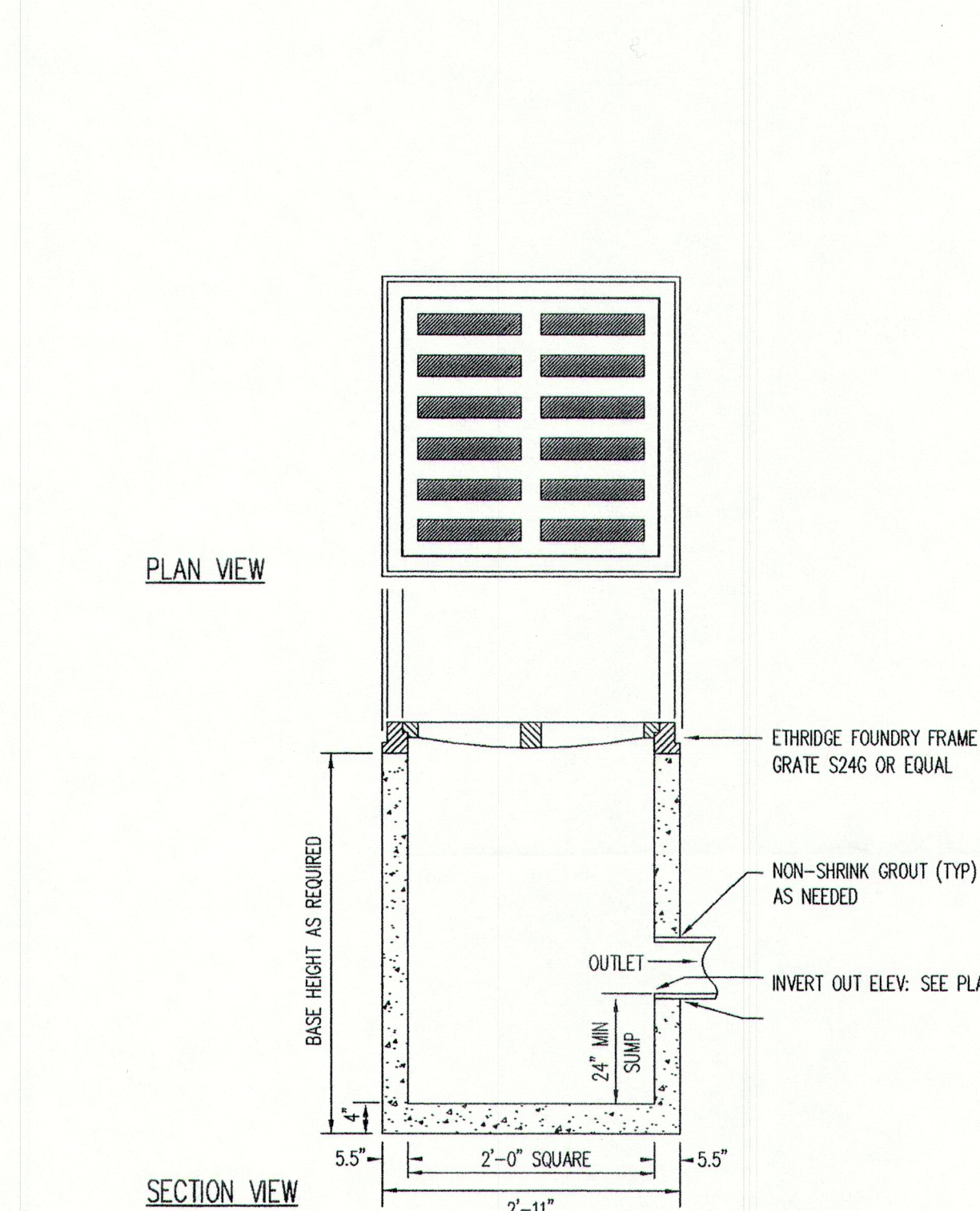
NOT TO SCALE



11 ROAD CROSS SECTION

NOT TO SCALE

0000/L-RD10/10-95

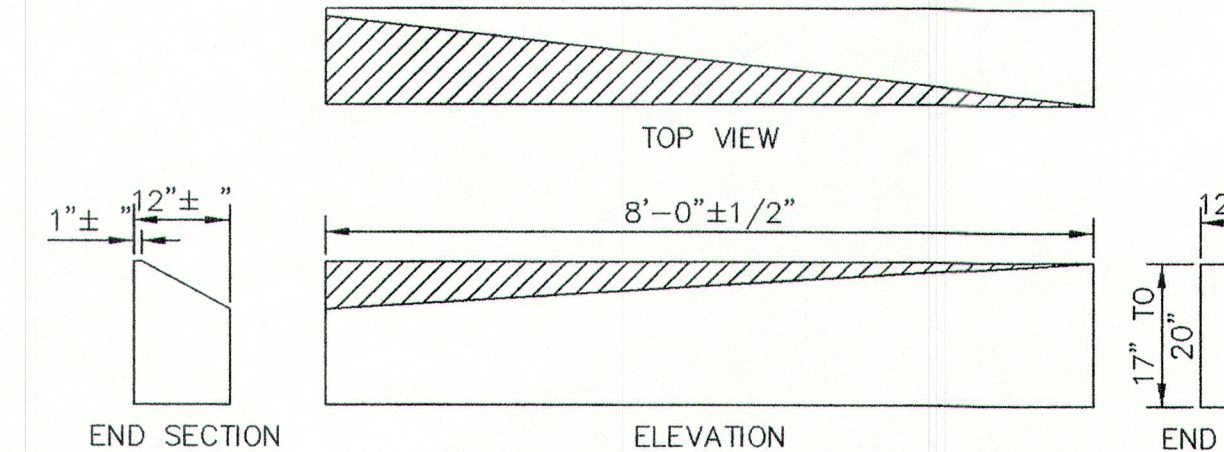


NOTES:
1. CONCRETE 5000 PSI AFTER 28 DAYS.
2. REINFORCING: 1 LAYER 4x4 / 4x4 WWM.
3. FIELD INLET IS USED FOR SHALLOW, OFF-DRIVE, DEAD END DRAINAGE AREAS.

12 FIELD INLET

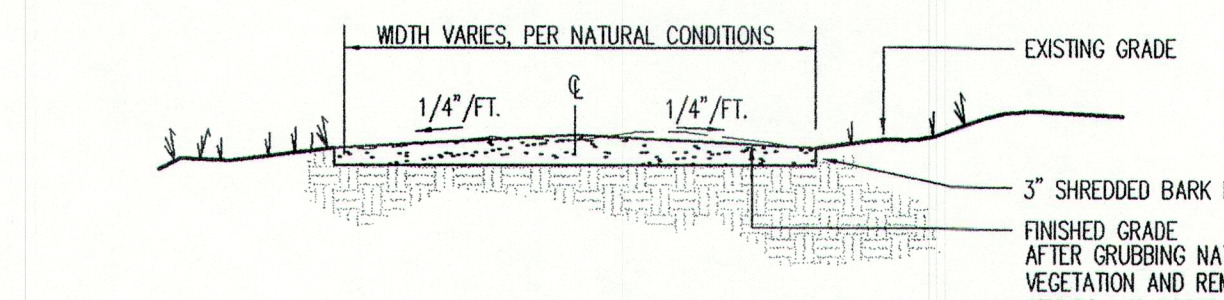
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ST-08-FIELD/4-94



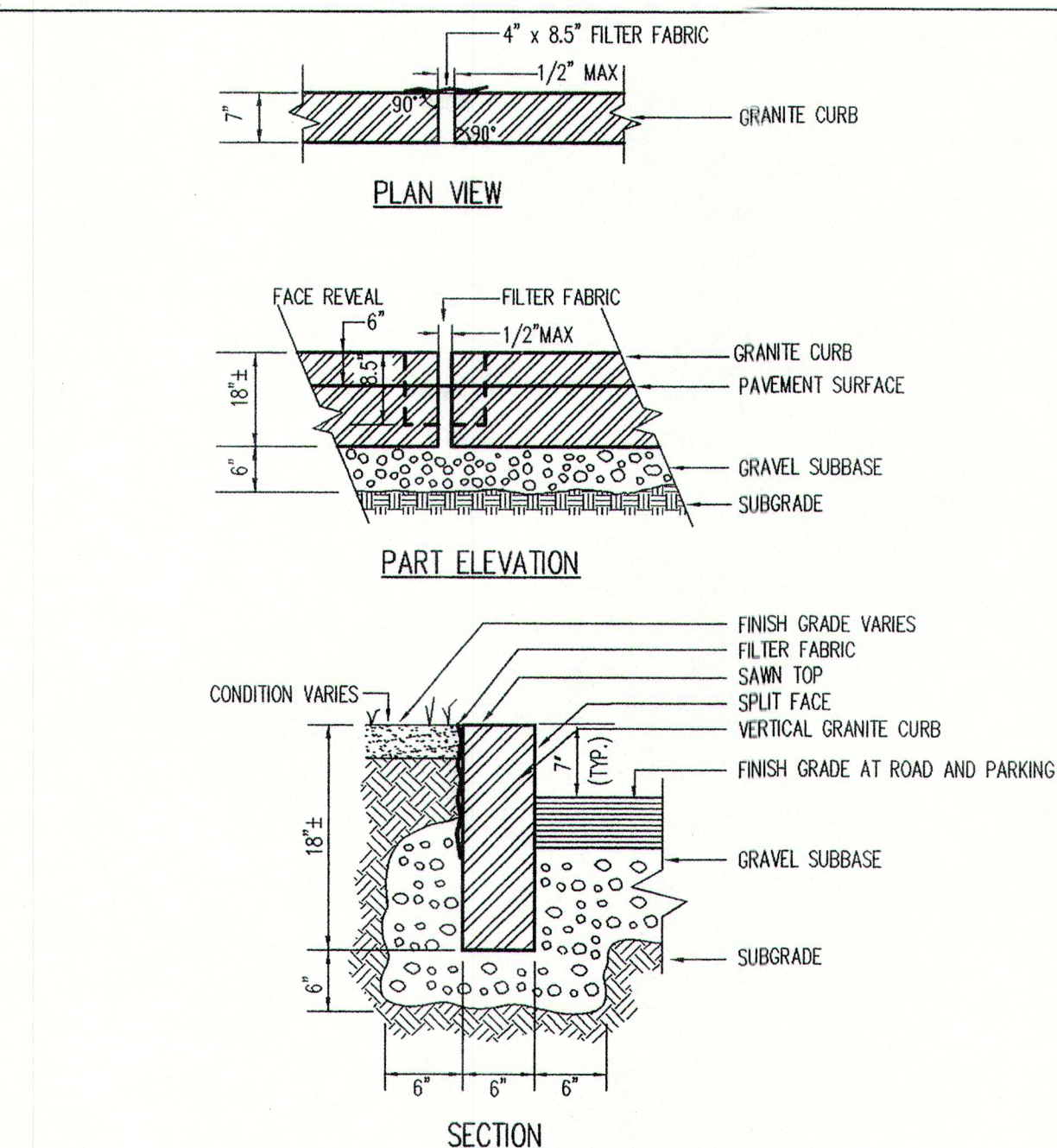
13 CURB TRANSITION

NOT TO SCALE



14 3' WIDE BARK MULCH TRAIL

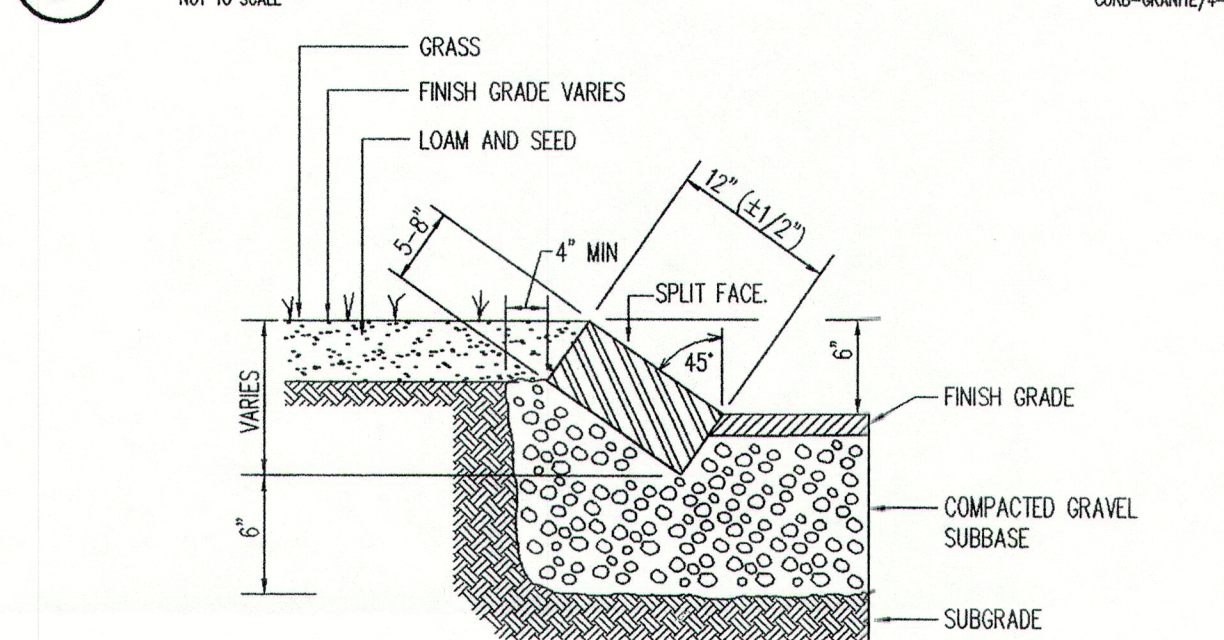
NOT TO SCALE



6 VERTICAL GRANITE CURB (MDOT TYPE '1')

NOT TO SCALE

CURB-GRANITE/4-96

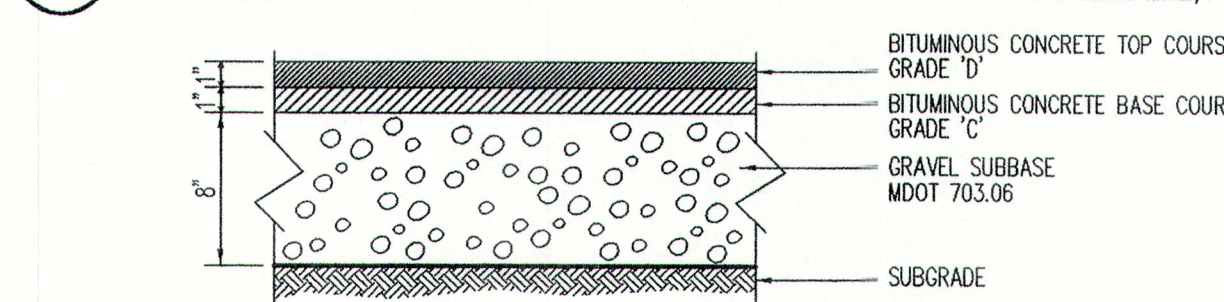


NOTE:
CURBING SHALL CONFORM TO MDOT-TYPE 5 (S.609.34).

7 SLOPED GRANITE CURB

NOT TO SCALE

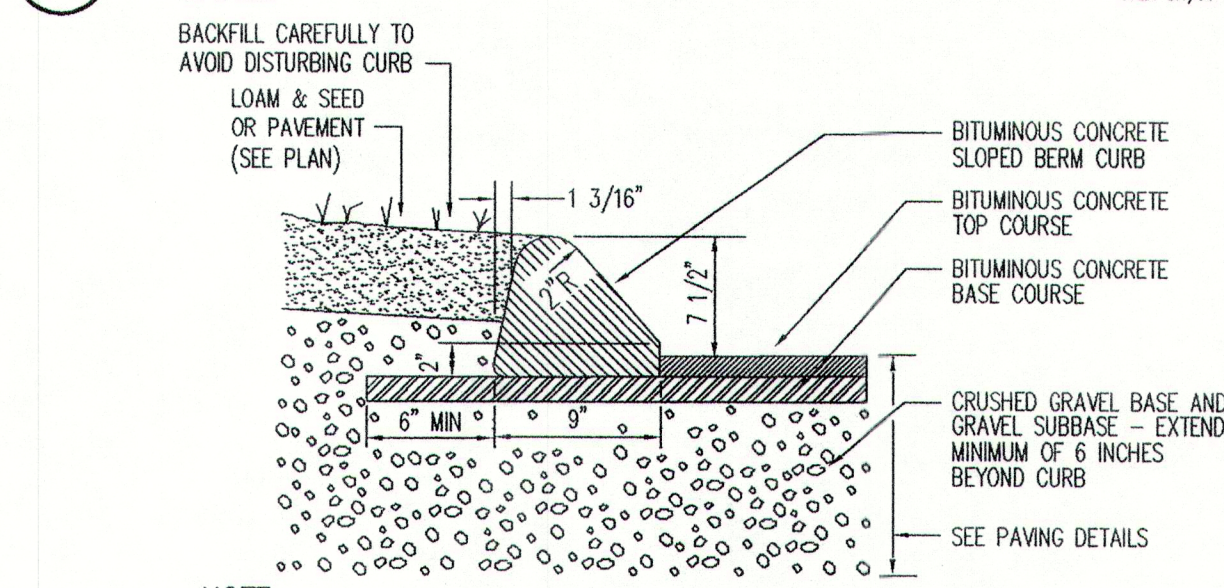
CURB-GRANITE-SLOPED/4-94



8 BITUMINOUS CONCRETE WALK

NOT TO SCALE

WALK-BIT/04-96

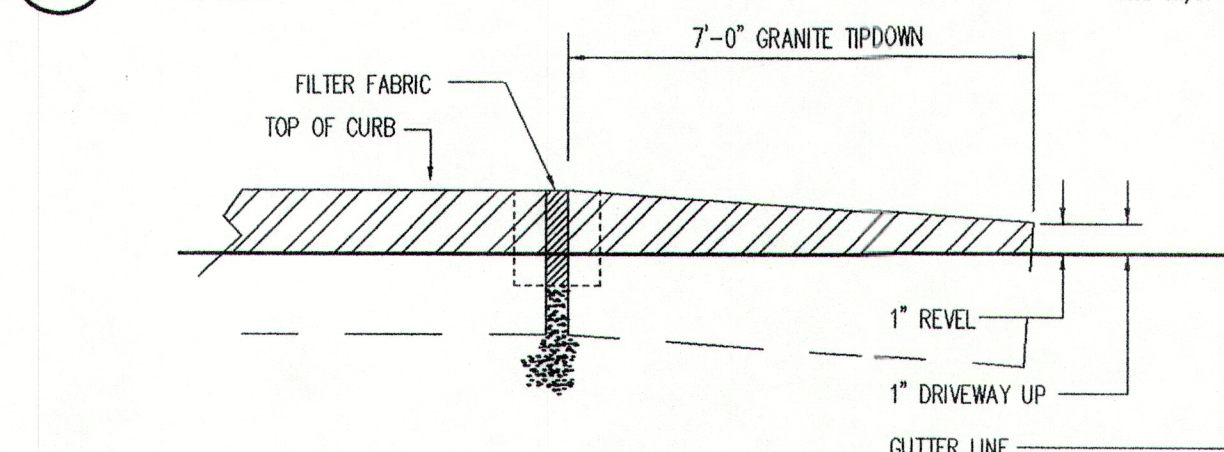


NOTE:
CURB TO BE PLACED ON FINISH PAVEMENT.

9 TYPE 3 BITUMINOUS CONCRETE CURB (MOLD 2)

NOT TO SCALE

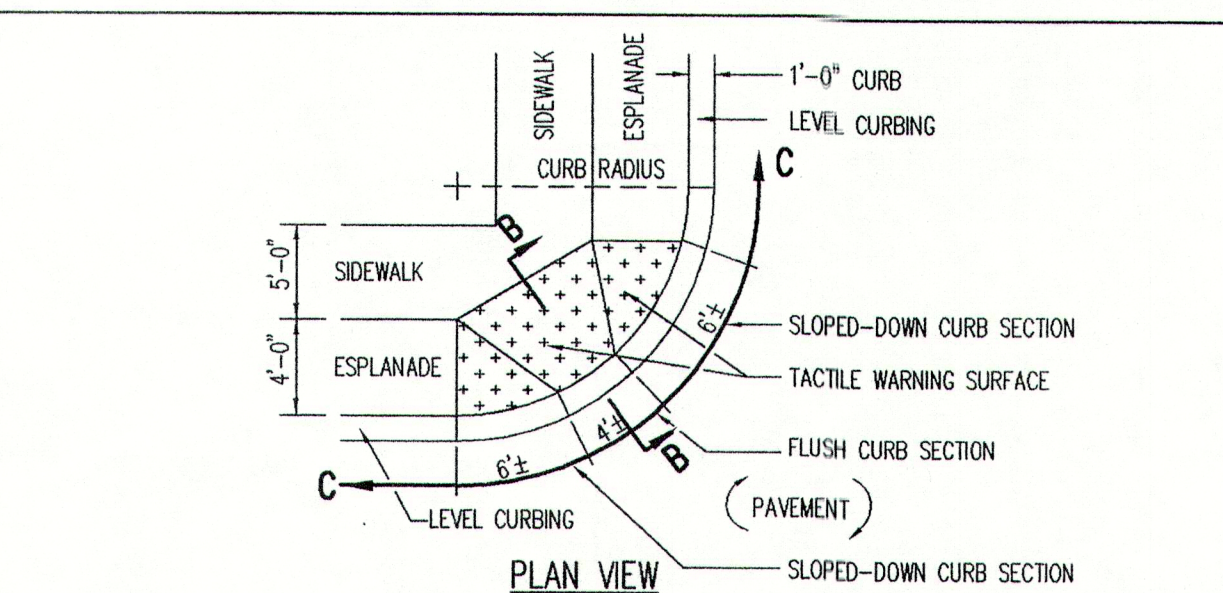
CURB-BIT/04-97



10 TYPICAL TIPDOWN CURB INSTALLATION

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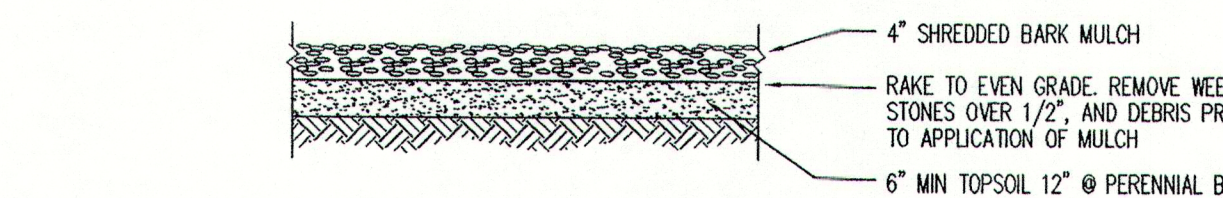
CURB-GRANITE-TIPDOWN/10-96



1 HANDICAP CURB CUT & SIDEWALK RAMP

NOT TO SCALE

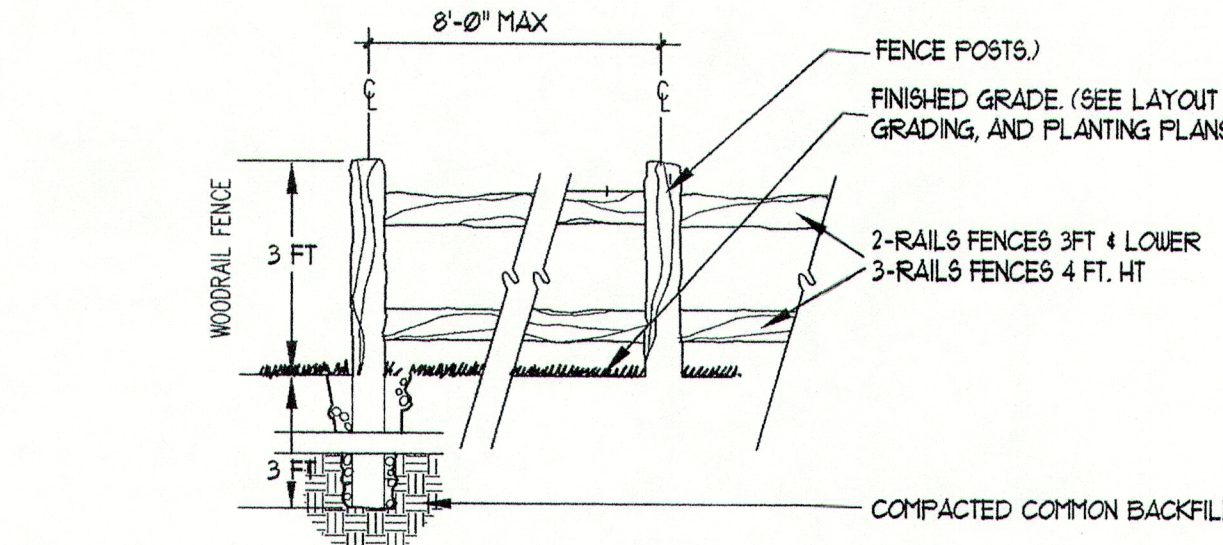
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2 BARK MULCH @ PLANT BED

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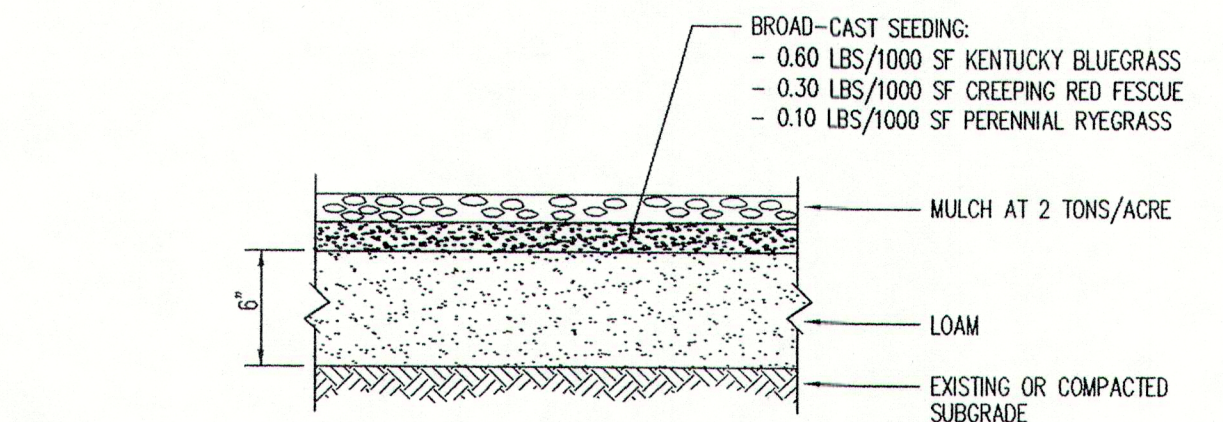
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3 WOOD RAIL FENCE

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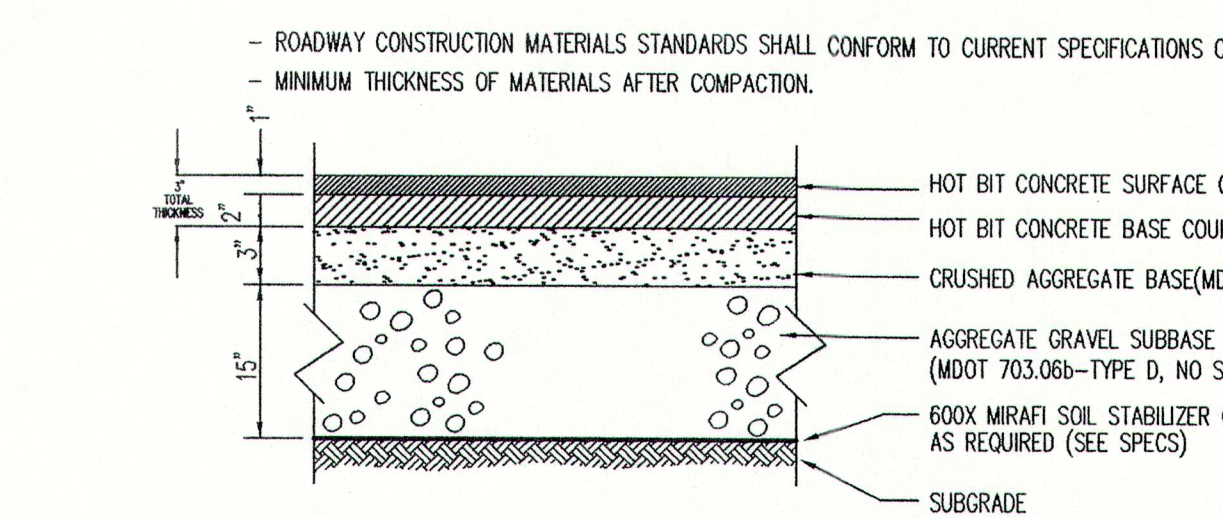
LS-FENCE-WOOD-RAIL/06-02



4 LOAM & SEED

NOT TO SCALE

LS-PLANT-LOAM-SEED/05-95

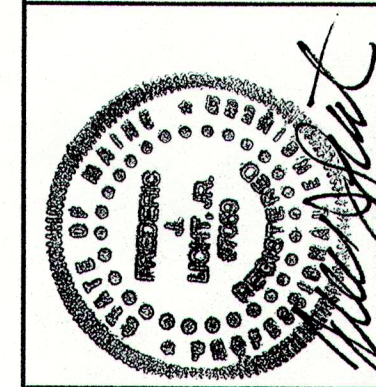
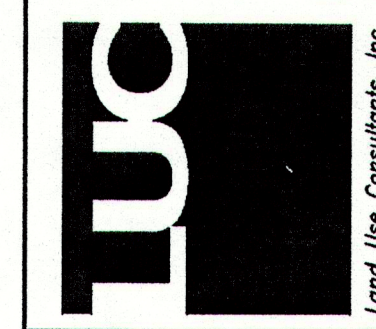


5 ROAD/PAVEMENT BUILDUP SECTION

NOT TO SCALE

250/L-RD4/04-95

Engineers
Landscapers
Architects
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878-3313
Fax (207) 878-3314
tuc@tucinc.com
tucinc.com



MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, MAINE
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
875 PRINCES POINT ROAD
YARMOUTH, MAINE 04096

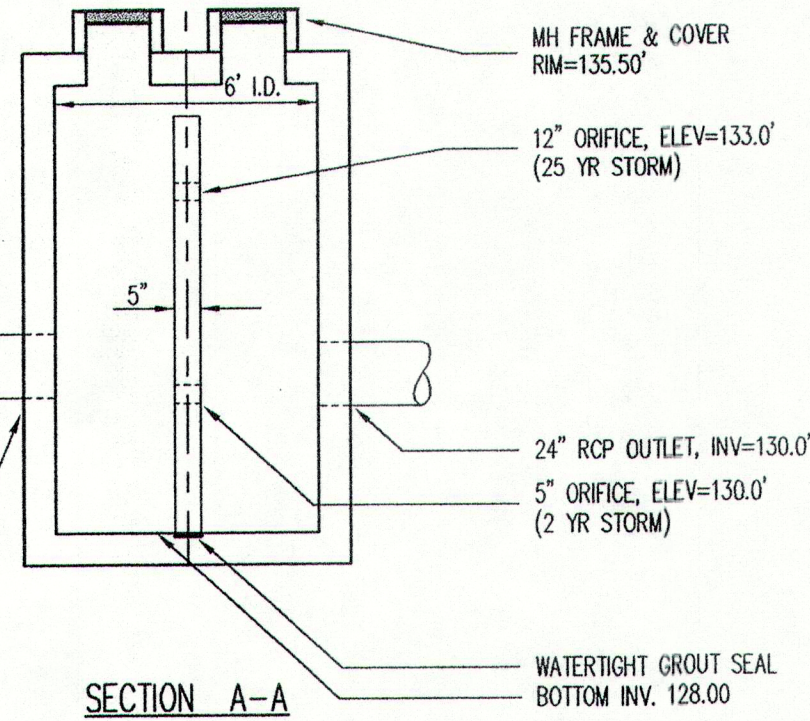
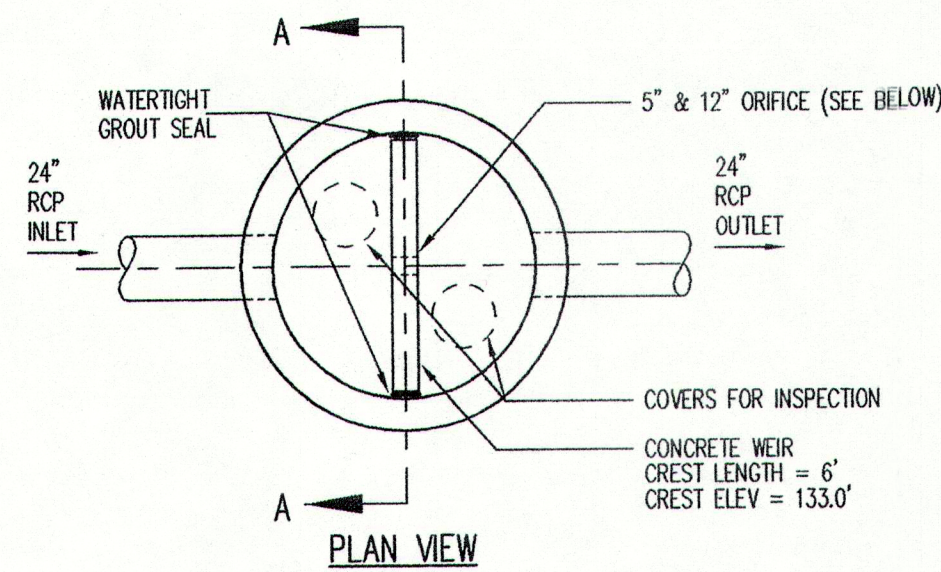
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NO REVISIONS	07/15/03
REV FOR PLANNING BOARD SUBMITTAL	08/05/03
REVISED PER DESIGN REVIEW COMMENTS	09/17/03
FINAL SUBMITTAL	11/25/03
NO REVISIONS	12/16/03
NO REVISIONS	05/14/04
REVISED DETAIL 19	06/23/04
NO REVISION	07/15/04

Designed FJL	CAM/SKN
Drawn	CAM/SKN
Checked FJL	
Scale	NO SCALE
Date	6-24-03

SITE DETAILS

Job No. 41761
Sheet

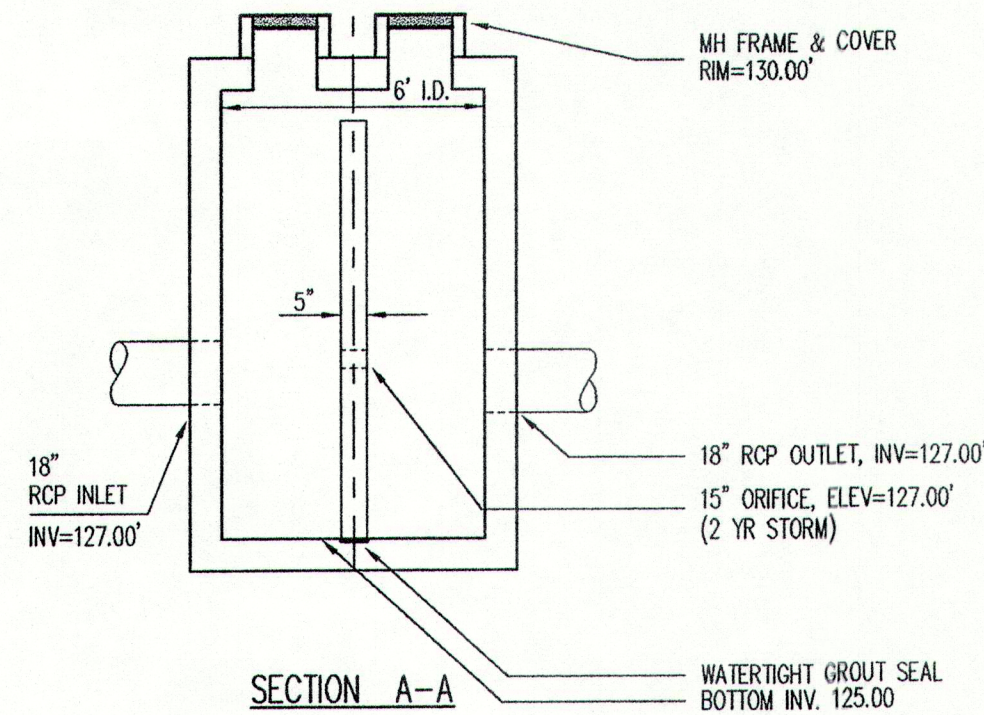
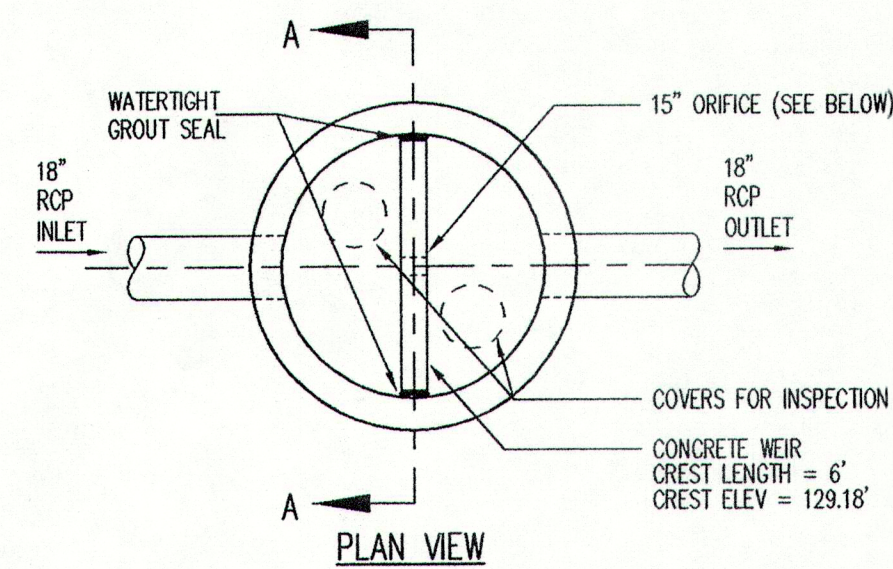
C-10



NOTE:
1. PIPE INLETS/OUTLETS SHALL REQUIRE FLEXIBLE BOOT AND TWO S.S. BANDS

DETENTION POND OUTLET STRUCTURE #1

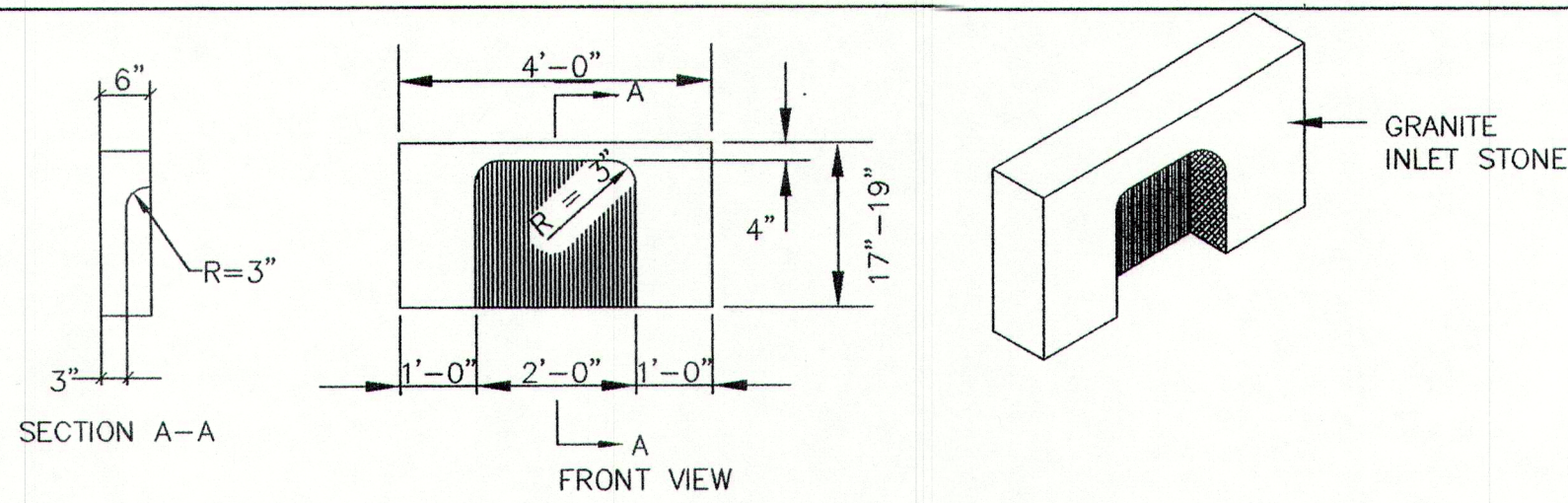
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NOTE:
1. PIPE INLETS/OUTLETS SHALL REQUIRE FLEXIBLE BOOT AND TWO S.S. BANDS

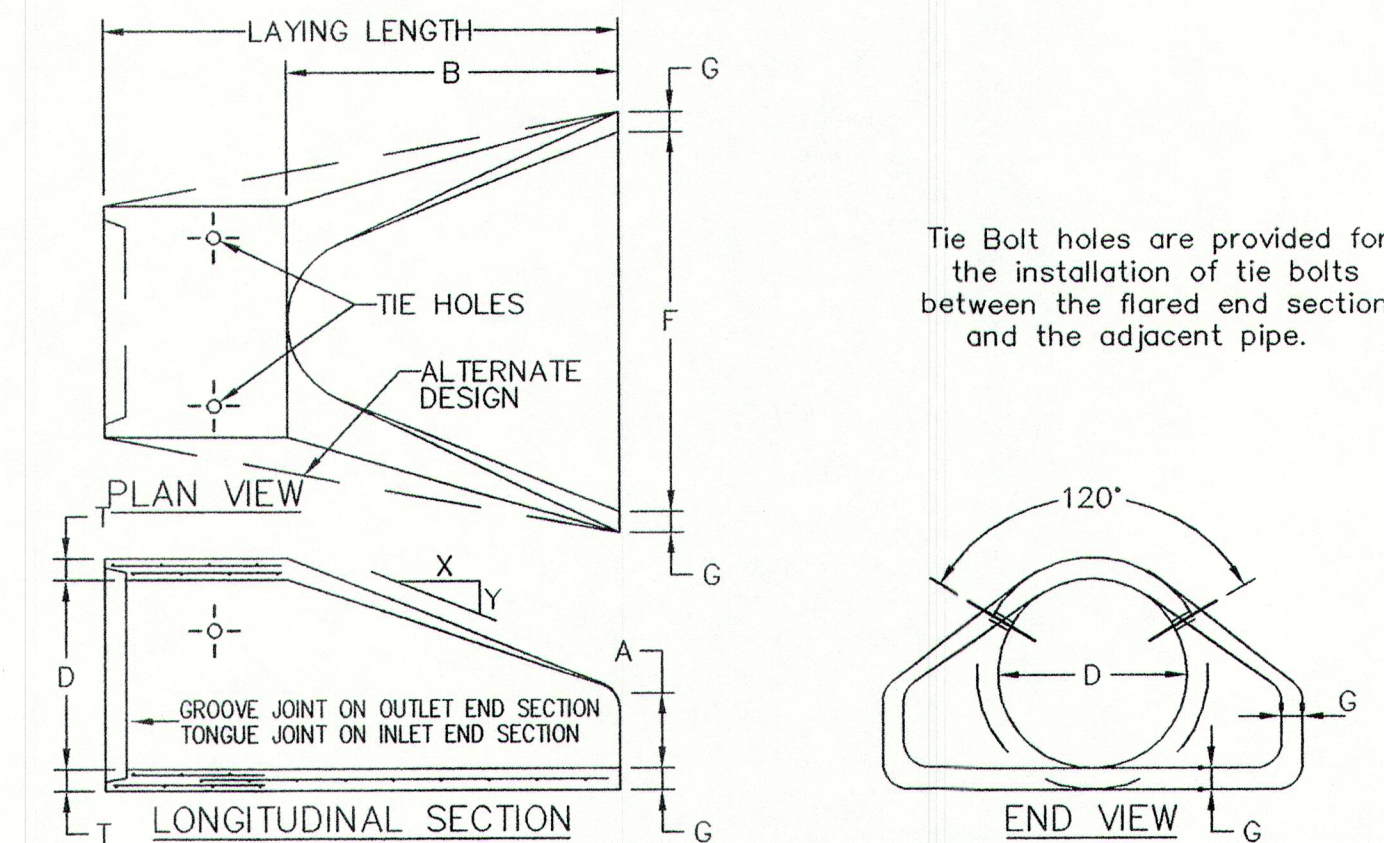
DETENTION POND OUTLET STRUCTURE #2

NOT TO SCALE P-OUTLET-MERPLATE/09-00



GRANITE CATCH BASIN INLET STONE DETAIL

NOT TO SCALE

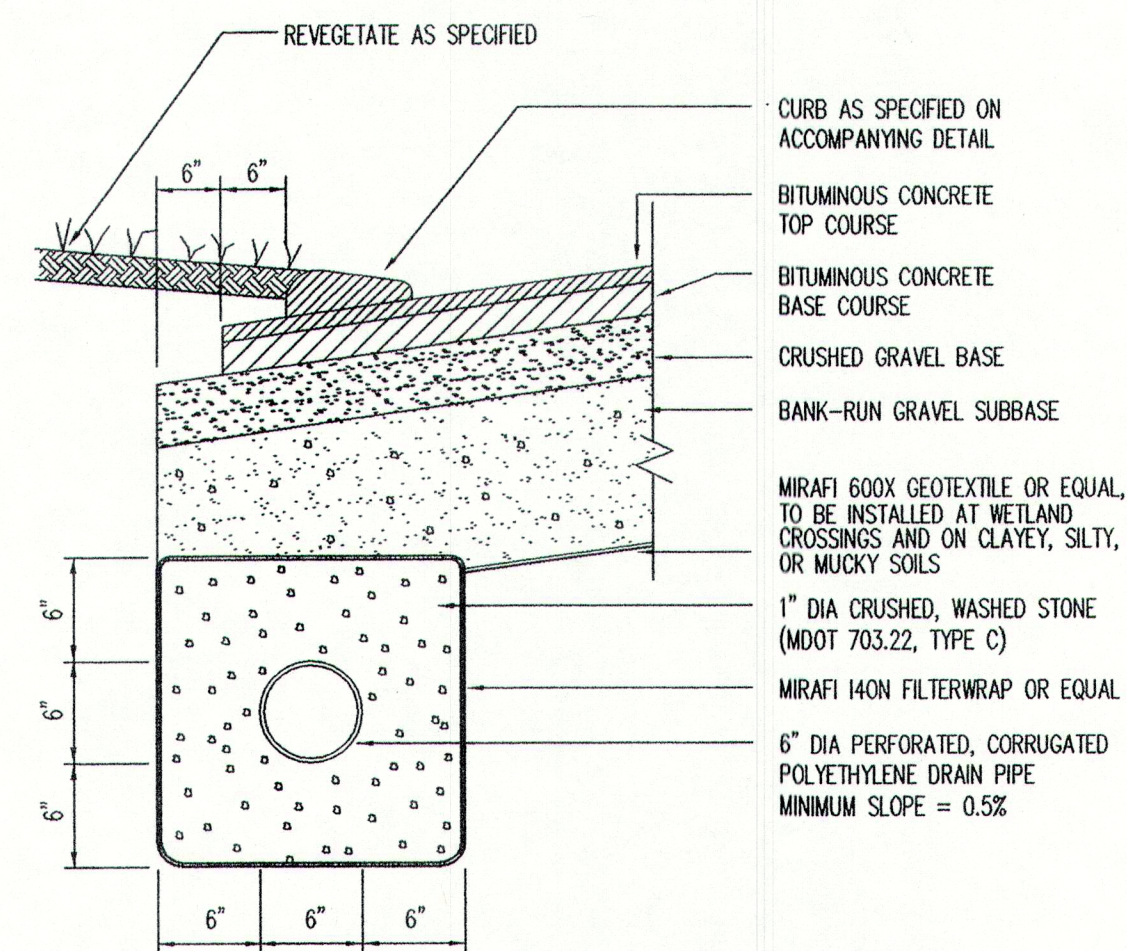


Tie Bolt holes are provided for the installation of tie bolts between the flared end section and the adjacent pipe.

PIPE DIAMETER D	LAYING LENGTH	SLOPE	T	A	B	F	G	WEIGHT PER SECTION
INCHES	OUTLET	INLET	X TO Y	INCHES	INCHES	INCHES	INCHES	LBS.
12	6'-0"	6'-0"	2.4 to 1	2	4	24	24	530
15	6'-0"	6'-0"	2.4 to 1	2 1/4	6	27	30	740
18	6'-0"	6'-0"	2.3 to 1	2 1/2	9	27	36	990
21	6'-0"	6'-0"	2.4 to 1	2 3/4	9	36	42	1280
24	6'-0"	6'-0"	2.5 to 1	3	9 1/2	43 1/2	48	1520
27	6'-0"	6'-0"	2.5 to 1	3 1/4	10 1/2	49 1/2	54	1930
30	6'-0"	6'-0"	2.5 to 1	3 1/2	12	54	60	2190
33	6'-6"	6'-6"	2.5 to 1	3 3/4	13 1/2	58 1/2	66	3350
36	8'-2"	7'-10"	2.5 to 1	4	15	63	72	4100
42	8'-2"	7'-9 1/2"	2.5 to 1	4 1/2	21	63	78	5380
48	8'-2"	7'-9 1/2"	2.5 to 1	5	24	72	84	6550
54	8'-2 1/2"	7'-9 1/2"	2.0 to 1	5 1/2	27	65	90	8240
60	8'-3"	7'-10"	1.9 to 1	6	35	60	96	8730
66	8'-3"	7'-10"	1.7 to 1	6 1/2	30	72	102	10710
72	8'-3"	7'-10"	1.9 to 1	7	36	78	108	12520
78	9'-3"	8'-10"	1.8 to 1	7 1/2	36	90	114	14770
84	9'-3 1/2"	8'-10 1/2"	1.5 to 1	8	36	90 1/2	120	18160
90	9'-3 1/2"	8'-10 1/2"	1.5 to 1	8 1/2	41	87 1/2	132	20900

CONCRETE F.E.S.

NOT TO SCALE

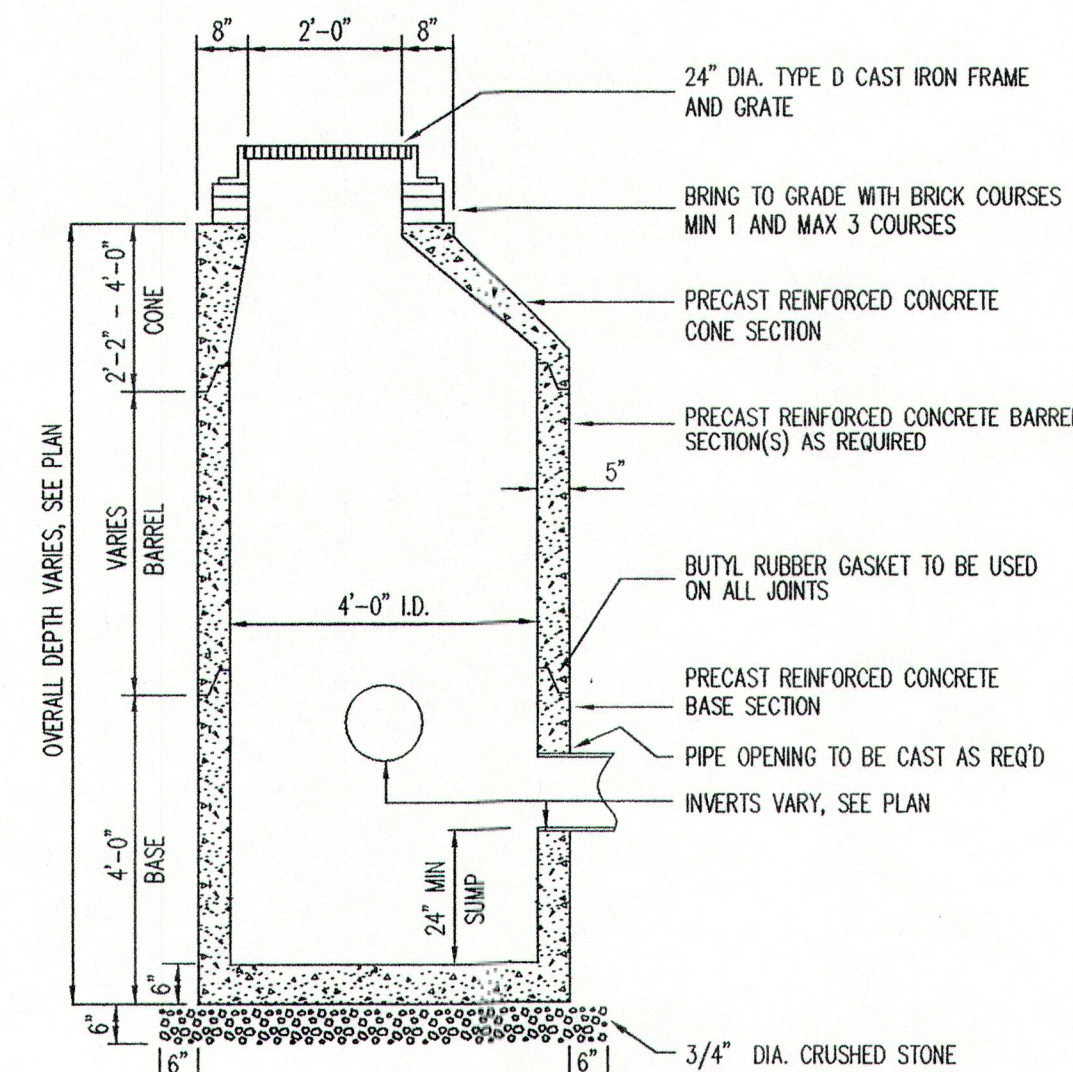


NOTES:
1. REFER TO ACCOMPANYING DETAIL FOR BITUMINOUS CONCRETE AND BASE COURSE DIMENSIONS.
2. UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDOT 605.04, TYPE B, EXCEPT AS NOTED.
3. OUTLETS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM AS SHOWN ON THE PLANS, OR GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT.

ROADWAY UNDERDRAIN DETAIL

NOT TO SCALE

SI-UD-RAMP-CURB/04-05

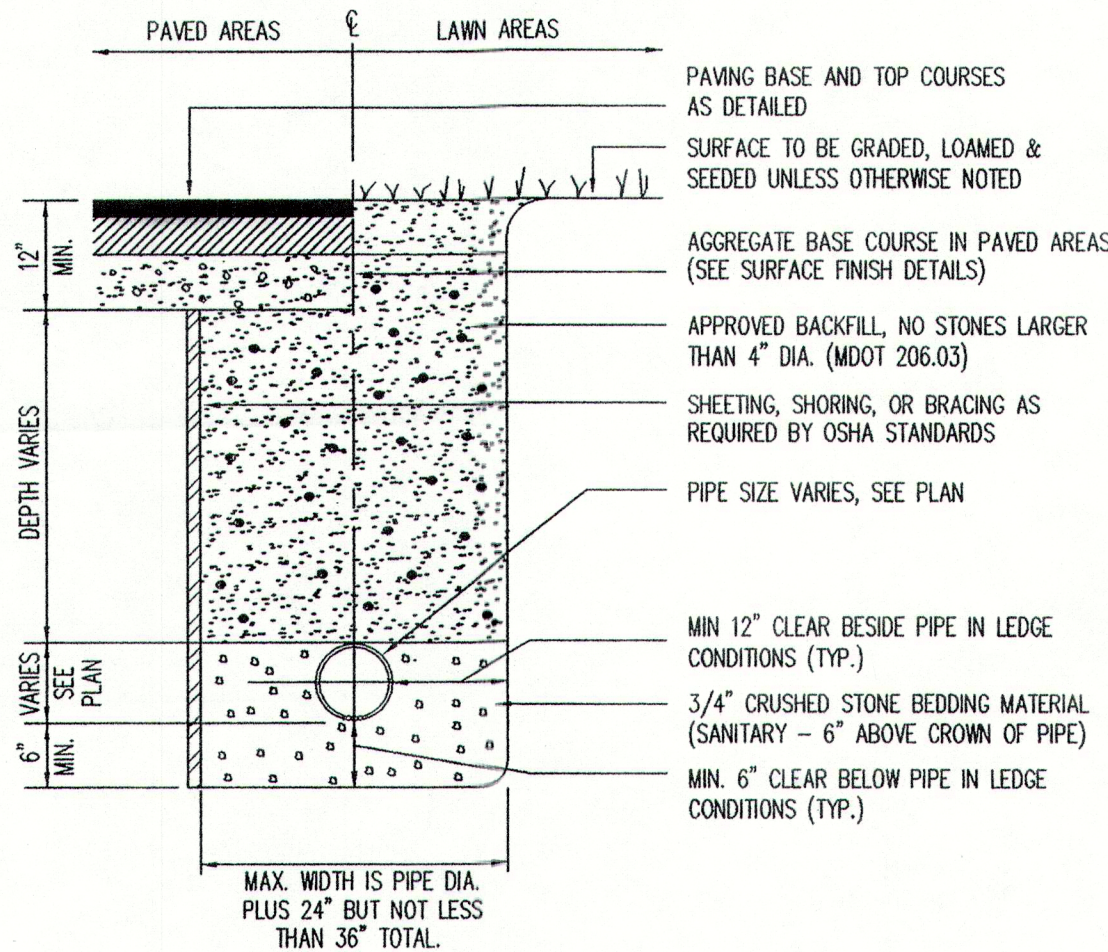


NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
2. REINFORCING H-20 LOADING 4x4 / 4x4 WMM. SLAB TOP - NO. 5 BARS.
3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
4. FLEXIBLE CONNECTIONS AND STAINLESS STEEL BANDS TO BE UTILIZED AT ALL STRUCTURES.

PRECAST CONCRETE CATCH BASIN-CONE TOP

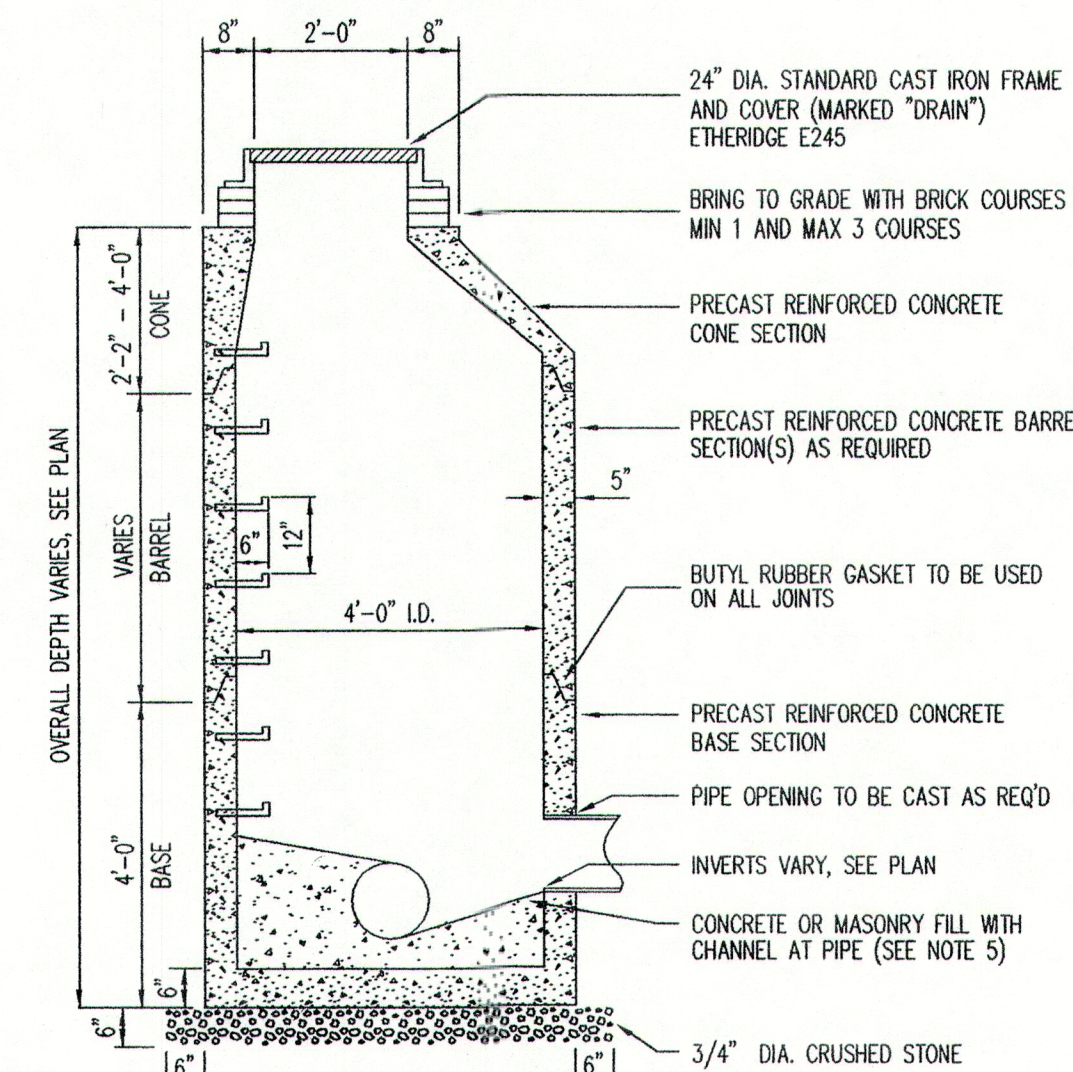
NOT TO SCALE

SI-CB-CONE/09-02



TYPICAL PIPE BEDDING DETAIL

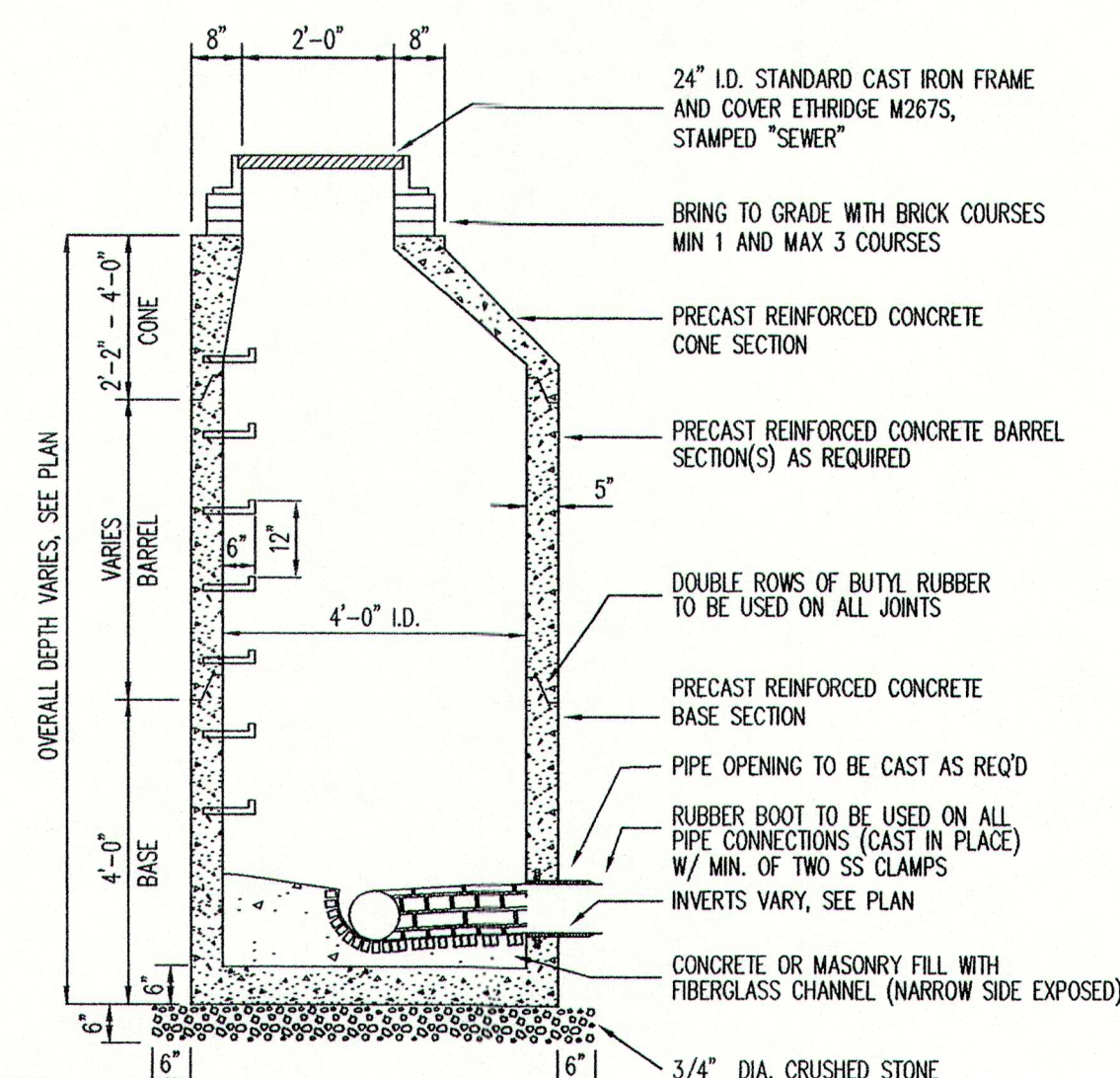
NOT TO SCALE



NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
2. REINFORCING H-20 LOADING 4x4 / 4x4 WMM.
3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
4. MANHOLE STEPS TO BE ALUMINUM OR HIGH IMPACT PLASTIC.
5. DRAIN MANHOLES WITHOUT CATCH BASINS UPSTREAM SHALL BE CONSTRUCTED WITH 3\"/>

PRECAST CONCRETE DRAIN MANHOLE

NOT TO SCALE

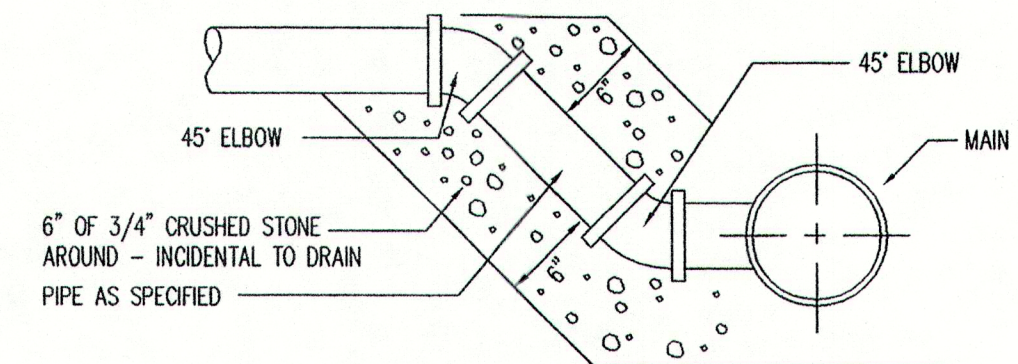
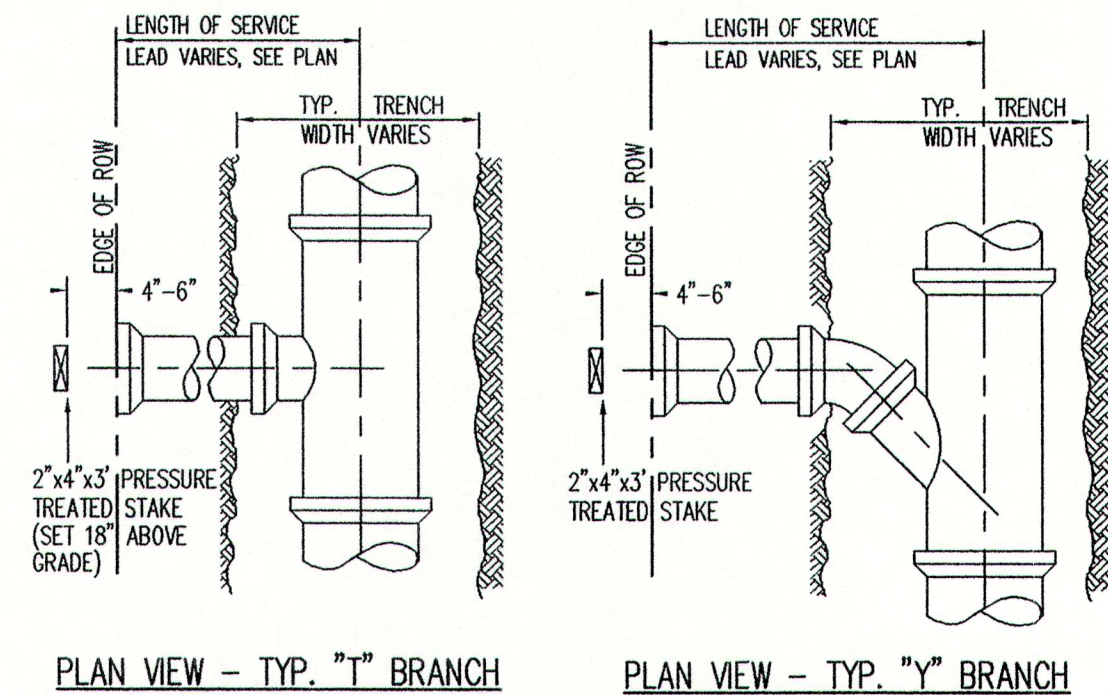


NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
2. REINFORCING H-20 LOADING 4x4 / 4x4 WMM.
3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
4. MANHOLE STEPS TO BE 1/2\"/>

SANITARY SEWER MANHOLE

NOT TO SCALE

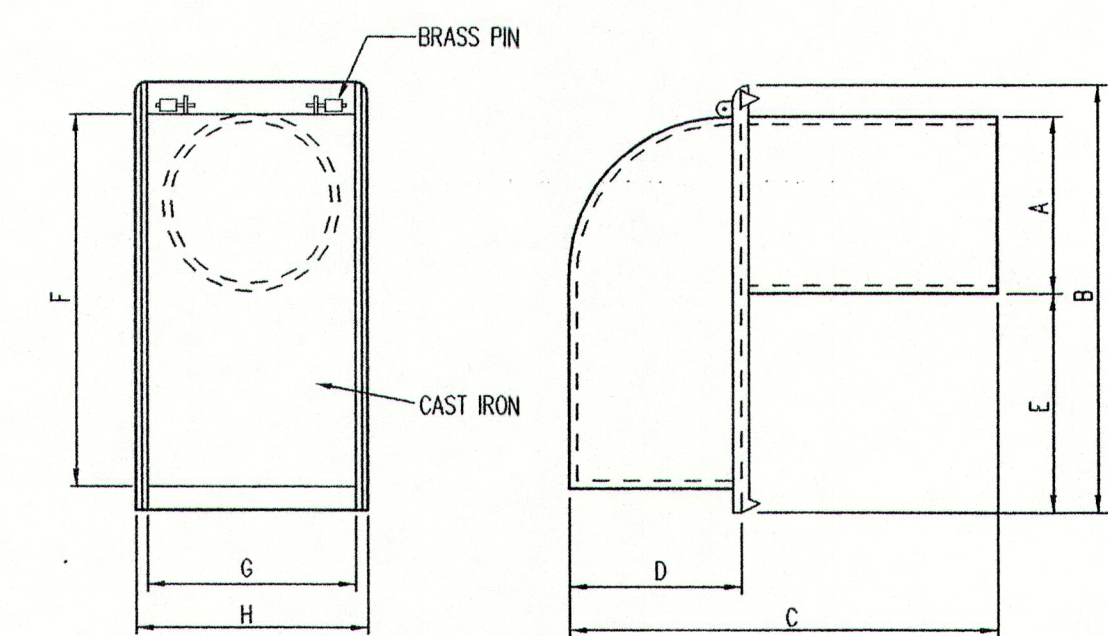
ALL UTILITY SERVICE LEADS SHALL BE INSTALLED TO THE RIGHT-OF-WAY LINE. SANITARY SEWER SERVICE LEADS SHALL BE 6-INCH DIAMETER AND CONNECTED WITH A WYE. THE SANITARY WYE SHALL BE ROTATED SLIGHTLY UPWARD PRIOR TO CONNECTION. STORM DRAIN SERVICE LEADS SHALL BE 4-INCH DIAMETER. A PRESSURE-TREATED WOODEN STAKE 2\"/>



TYPICAL SEWER & DRAIN SERVICE LEAD CONNECTION

NOT TO SCALE

L-PPE/10-05



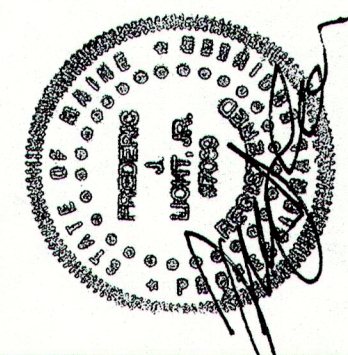
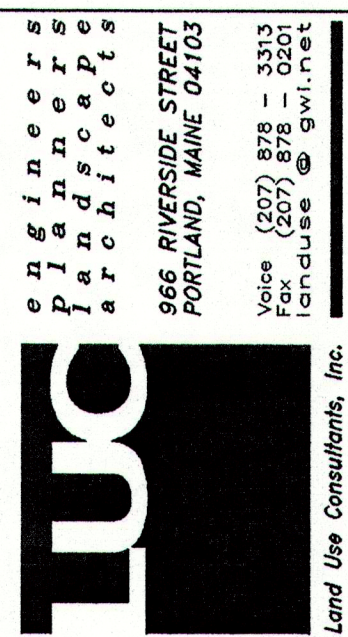
SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2	13 3/8	13 3/8	5 3/8	5 7/8	11 5/8	6 1/2	7 1/4
8 IN.	7 1/2	15	15 3/8	5 1/2	5 3/8	13 3/4	8 3/4	9 3/8
10 IN.	9 1/2	16	16 1/4	6	4 1/2	14 1/8	11 1/2	12 3/8
12 IN.	11 1/2	17	22	8	3 1/2	17	12 1/2	13 3/8
15 IN.	14 1/2	22 1/2	22 1/2	10 1/2	5	20 1/4	15 1/2	16 1/4

NOTE - SEE PLANS FOR SIZE AND LOCATION

CASCO TRAP

NOT TO SCALE

WQ-INLET-TRAP-CASCO/09-00



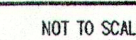
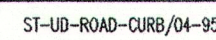
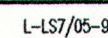
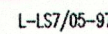
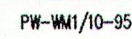
MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, MAINE
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, MAINE 04096

Revision	Date
DESIGNED BY	07/15/03
DRAWN BY	07/15/03
CHECKED BY	08/05/03
SCALE	NO SCALE
DATE	6-24-03
NO. OF SHEETS	11/25/03
NO. OF SHEETS	12/16/03
NO. OF SHEETS	08/14/04
NO. OF SHEETS	06/29/04
NO. OF SHEETS	07/13/04

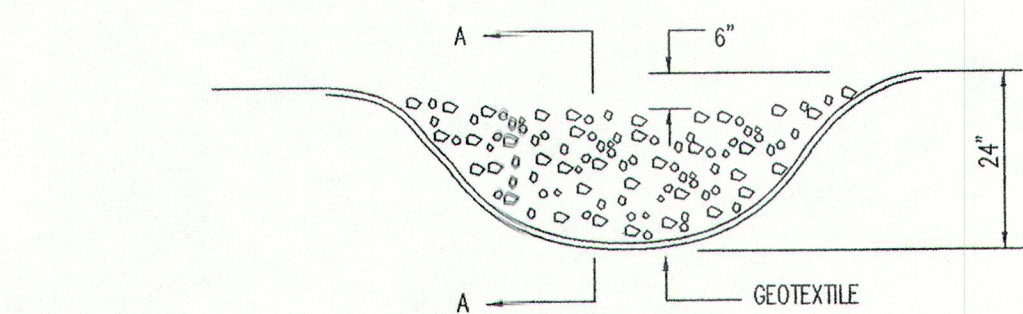
SANITARY & STORM DRAIN DETAILS

Job No. 4178.1
Sheet

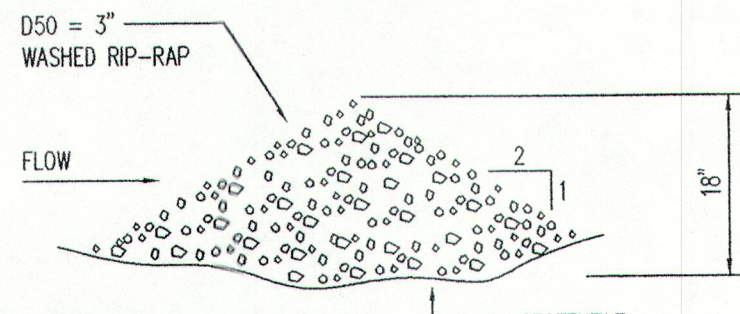
C-11



C-12



CROSS SECTION OF DRAINAGE-WAY



CROSS SECTION OF CHECK DAM A-A

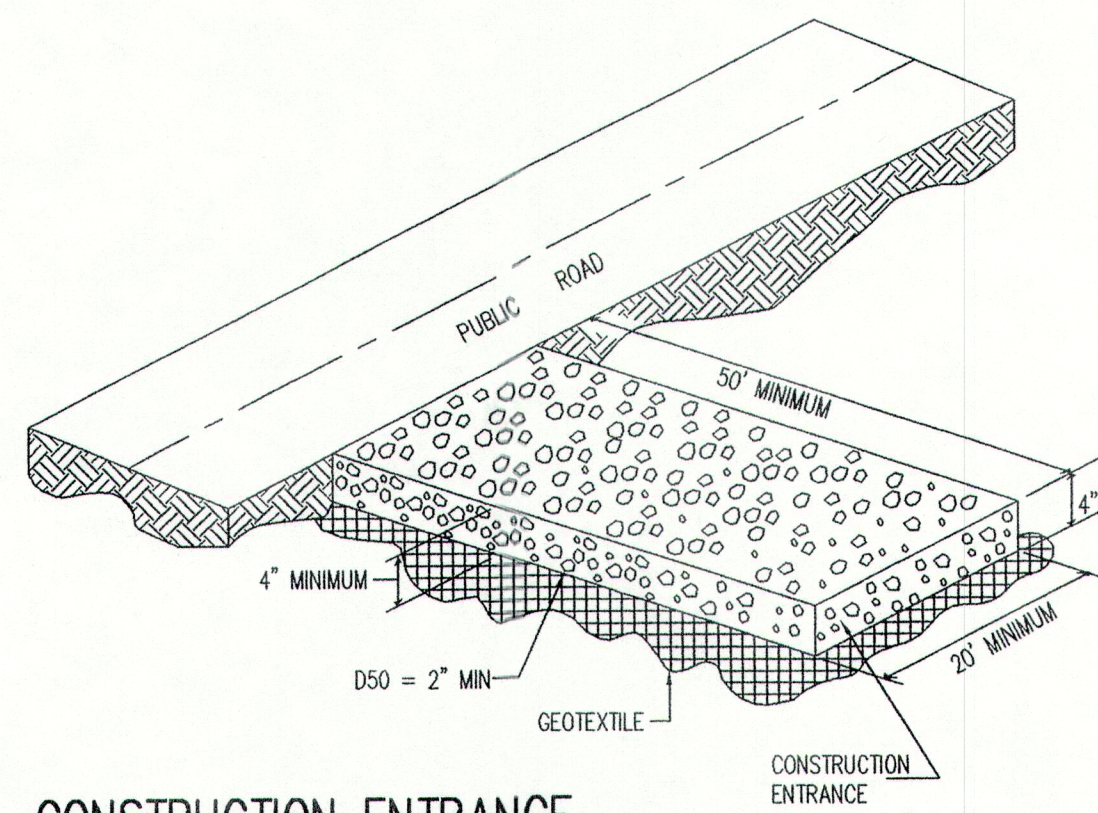
NOTES:

- 1) ONCE THE AREAS UPSTREAM FROM THE CHECK DAM ARE STABILIZED BY VEGETATION, THE SEDIMENT TRAPPED BEHIND/WITHIN THE DAM SHALL BE RELOCATED TO AN AREA UNDERGOING FINAL GRADING.
- 2) THE CHECK DAMS SHALL BE FLATTENED AND GRADED IN A MANNER WHICH PROTECTS THE AREA FROM EROSION AND CHANNEL BLOCKAGE. (GEOTEXTILE MUST BE REMOVED).
- 3) THE GEOTEXTILE SHALL BE DISPOSED OF OFFSITE.
- 4) THE AREA CONTRIBUTORY TO THE CHECK DAM SHALL NOT EXCEED 10 ACRES.

7 TEMPORARY STONE CHECK DAM IN DRAINAGE-WAY

NOT TO SCALE

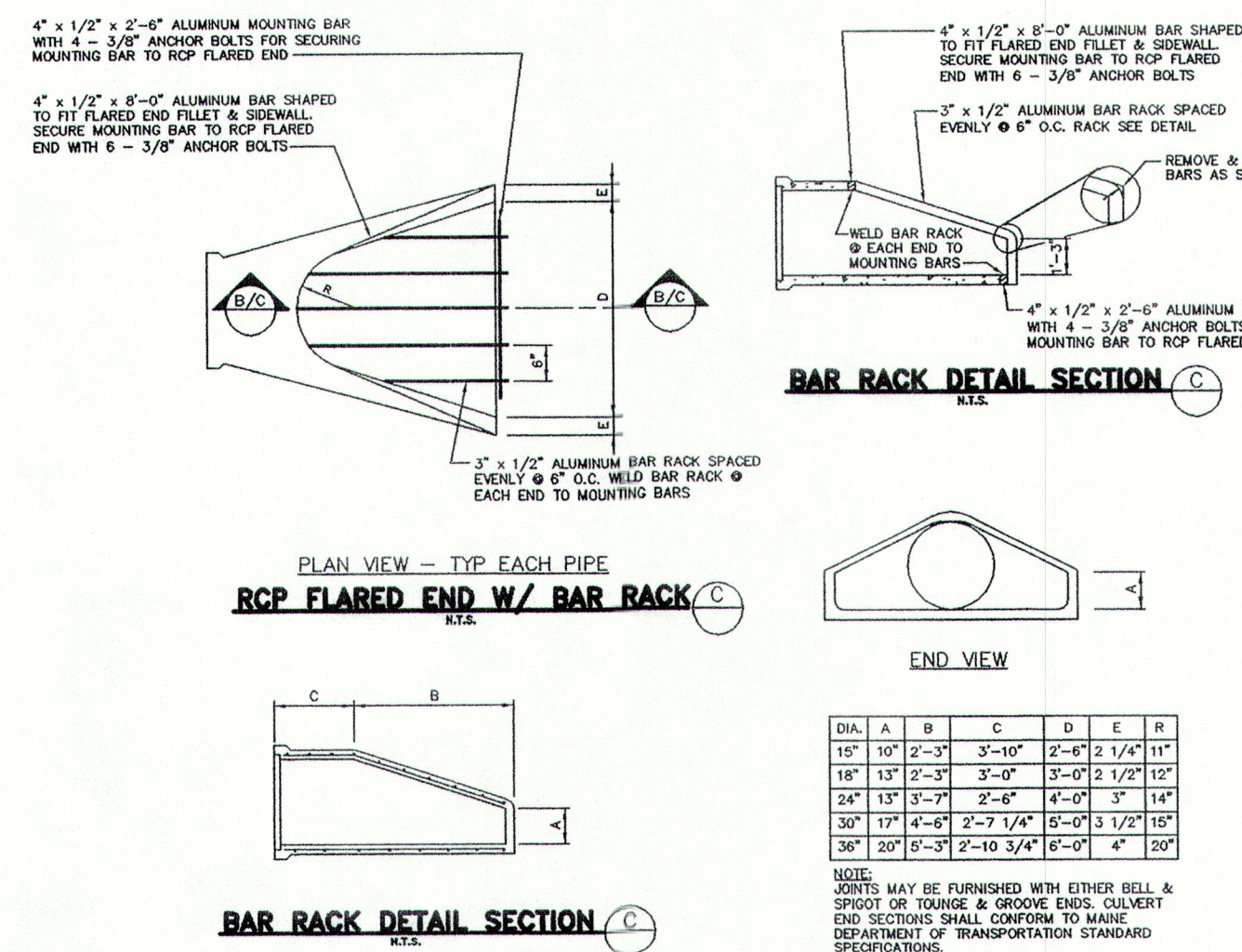
2274/L-ES170-95



8 CONSTRUCTION ENTRANCE

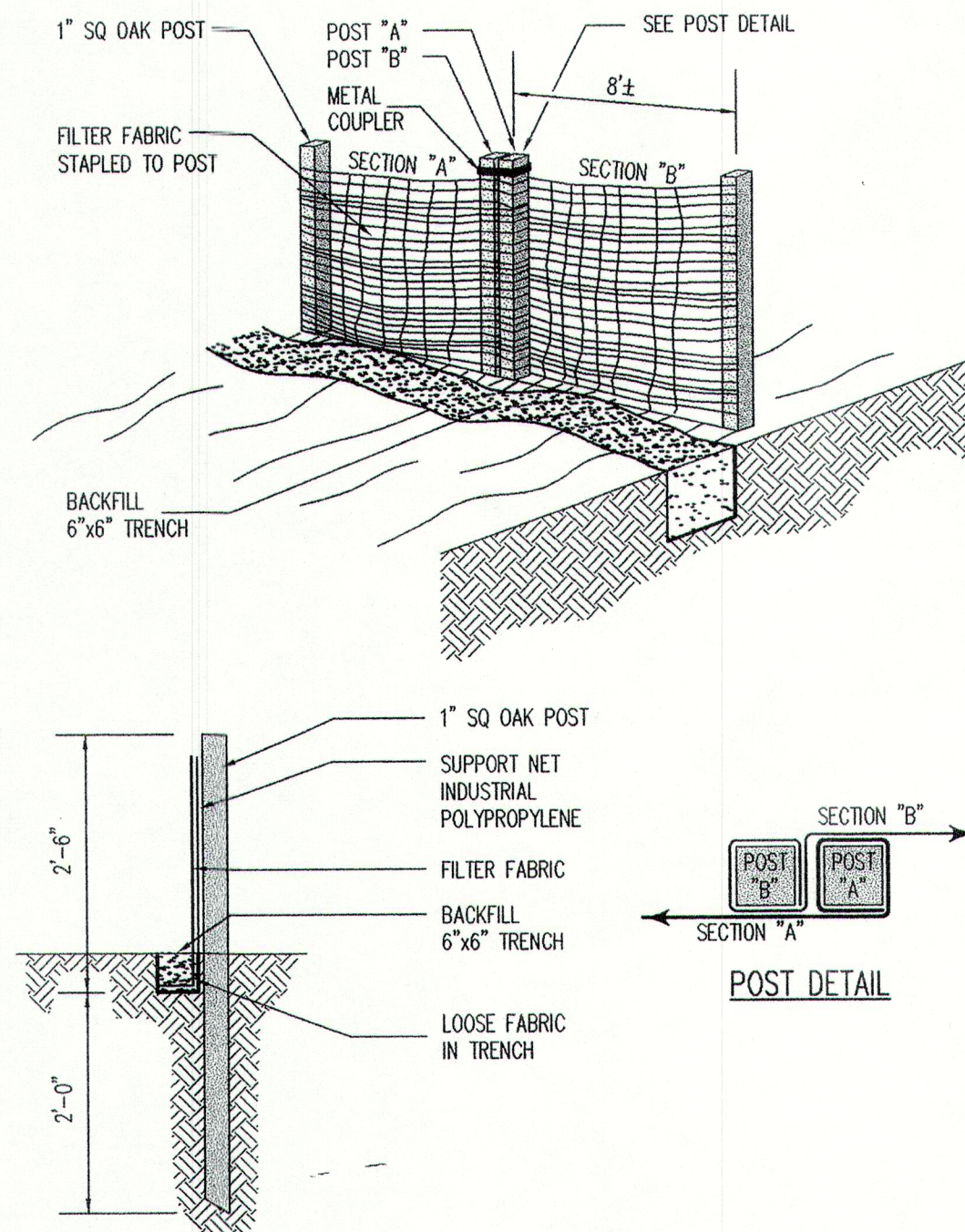
NOT TO SCALE

2274/L-ES210-95



9 TRASH/DEBRIS RACK FOR FES

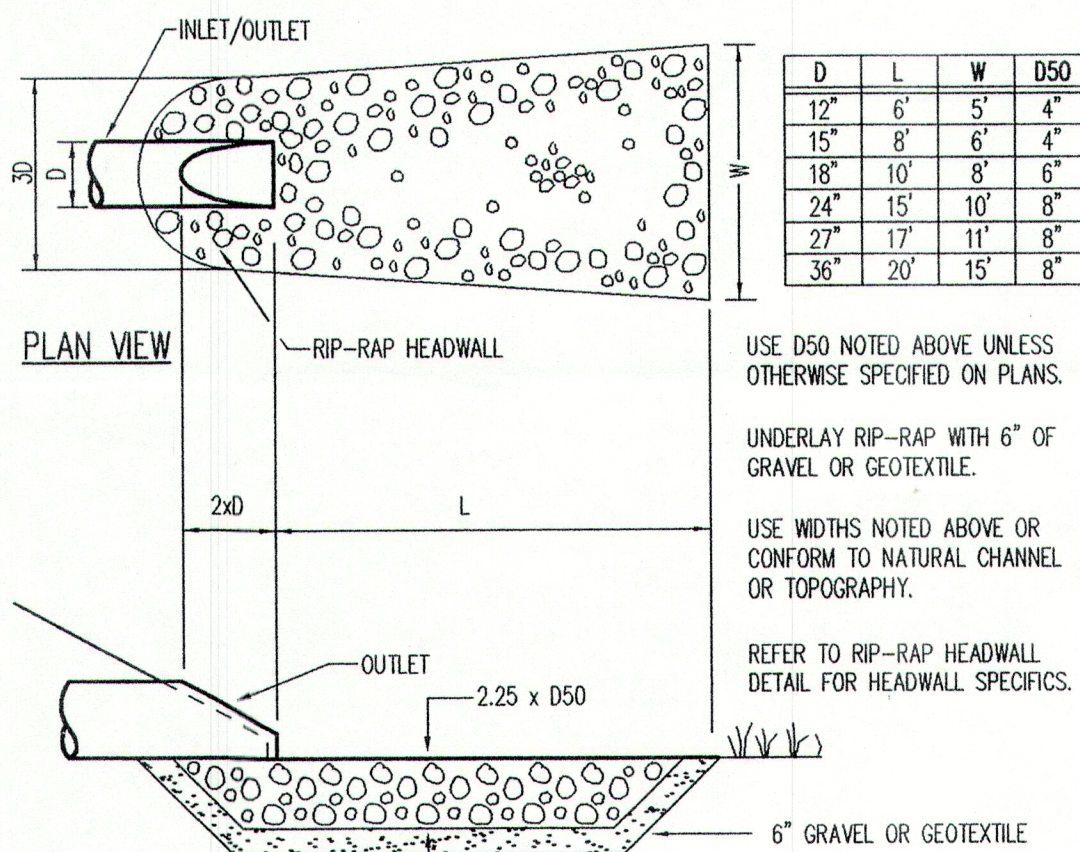
NOT TO SCALE



4 PREFABRICATED SILT FENCE

NOT TO SCALE

2276/L-ES14/09-98



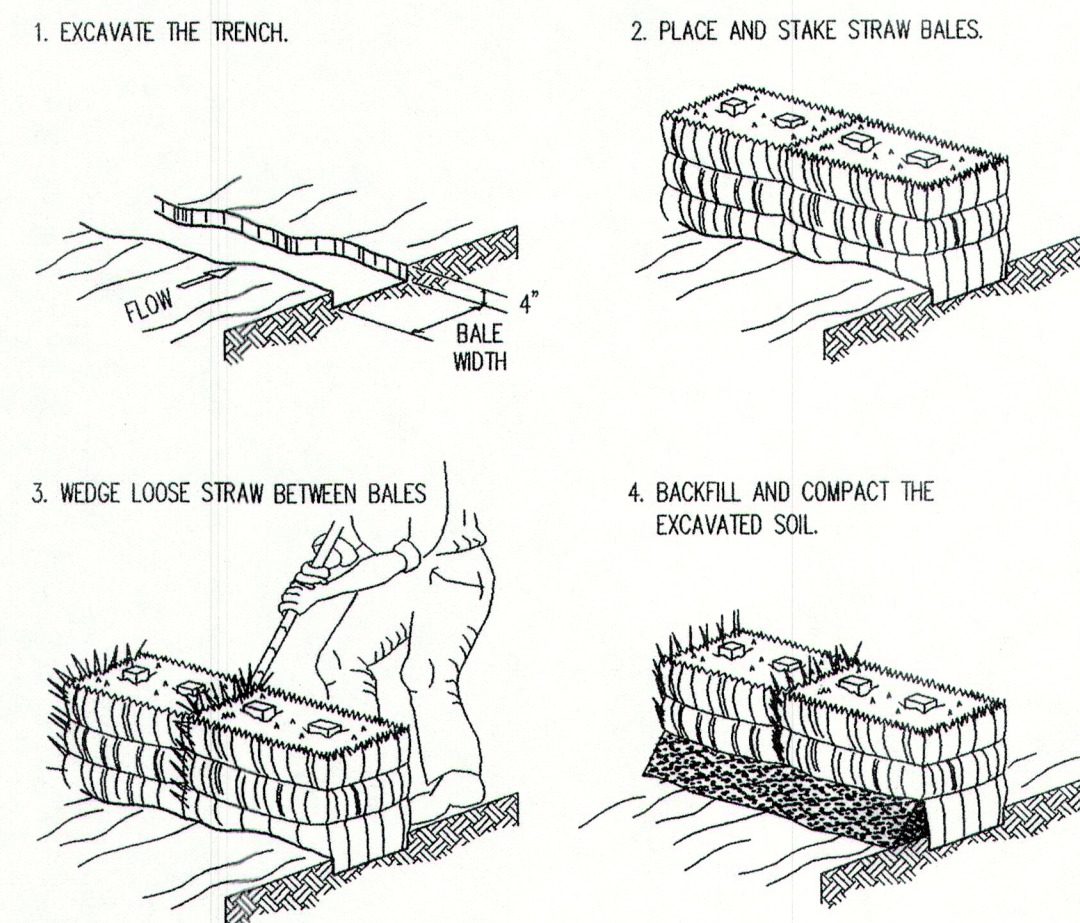
5 RIP-RAP APRON

NOT TO SCALE

2274/L-SPL48/05-96

NOTES:

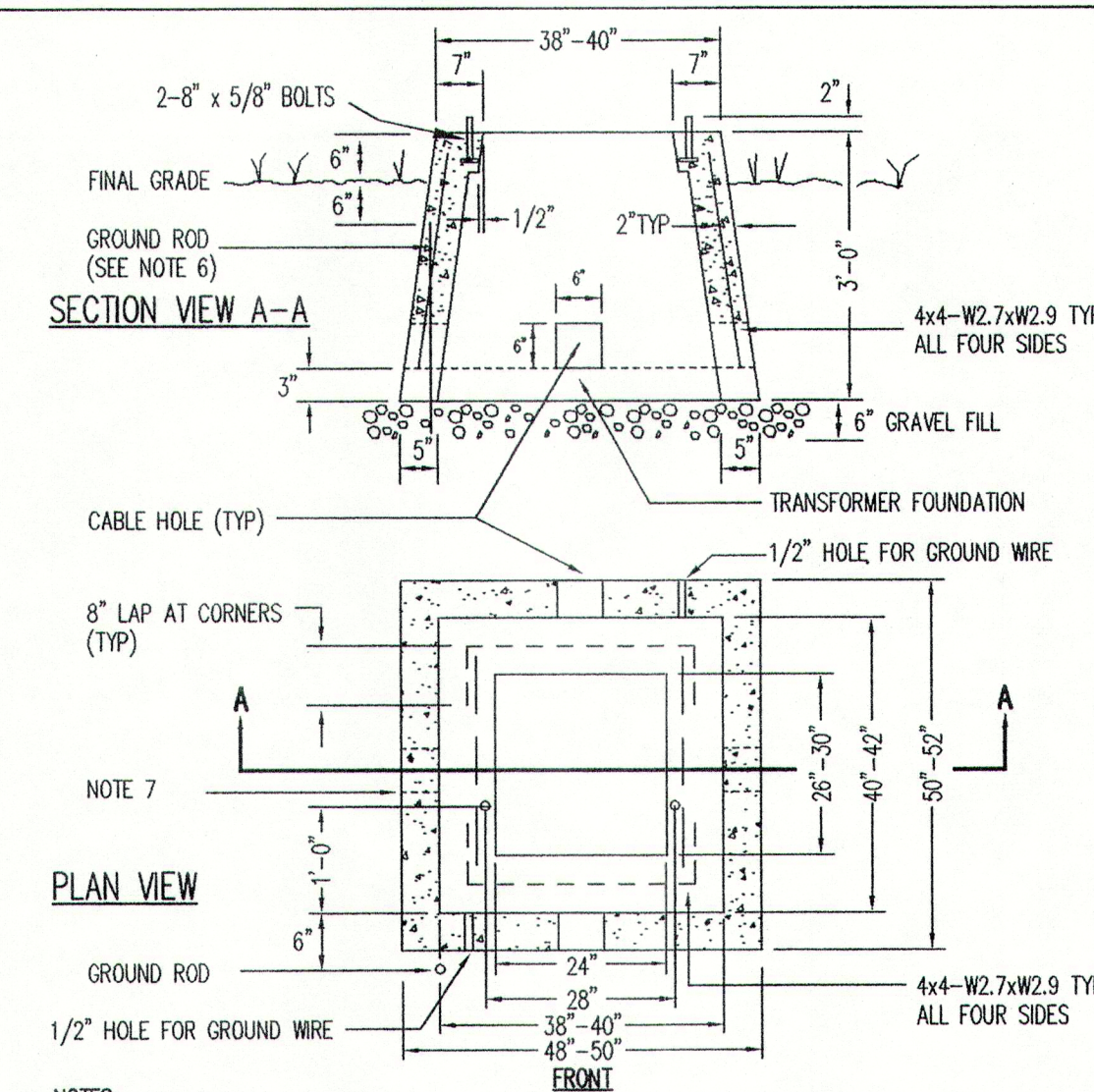
STRAW BALE BARRIERS MAY BE USED AS A SUBSTITUTE FOR SILT FENCE BUT ARE NOT TO BE USED ON DRAINAGE AREAS LARGER THAN ONE-HALF ACRE.



6 CONSTRUCTION OF A STRAW BALE SEDIMENT FILTER BARRIER

NOT TO SCALE

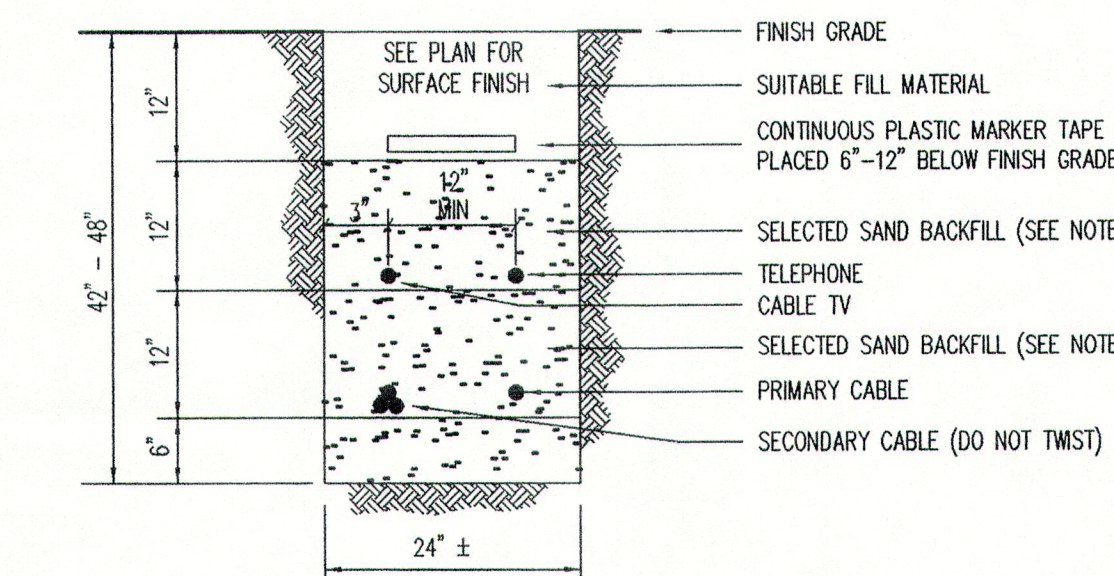
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1 TRANSFORMER PAD DETAIL 25 TO 167 KVA 1 Ø

NOT TO SCALE

2785/L-UTL4/9-97



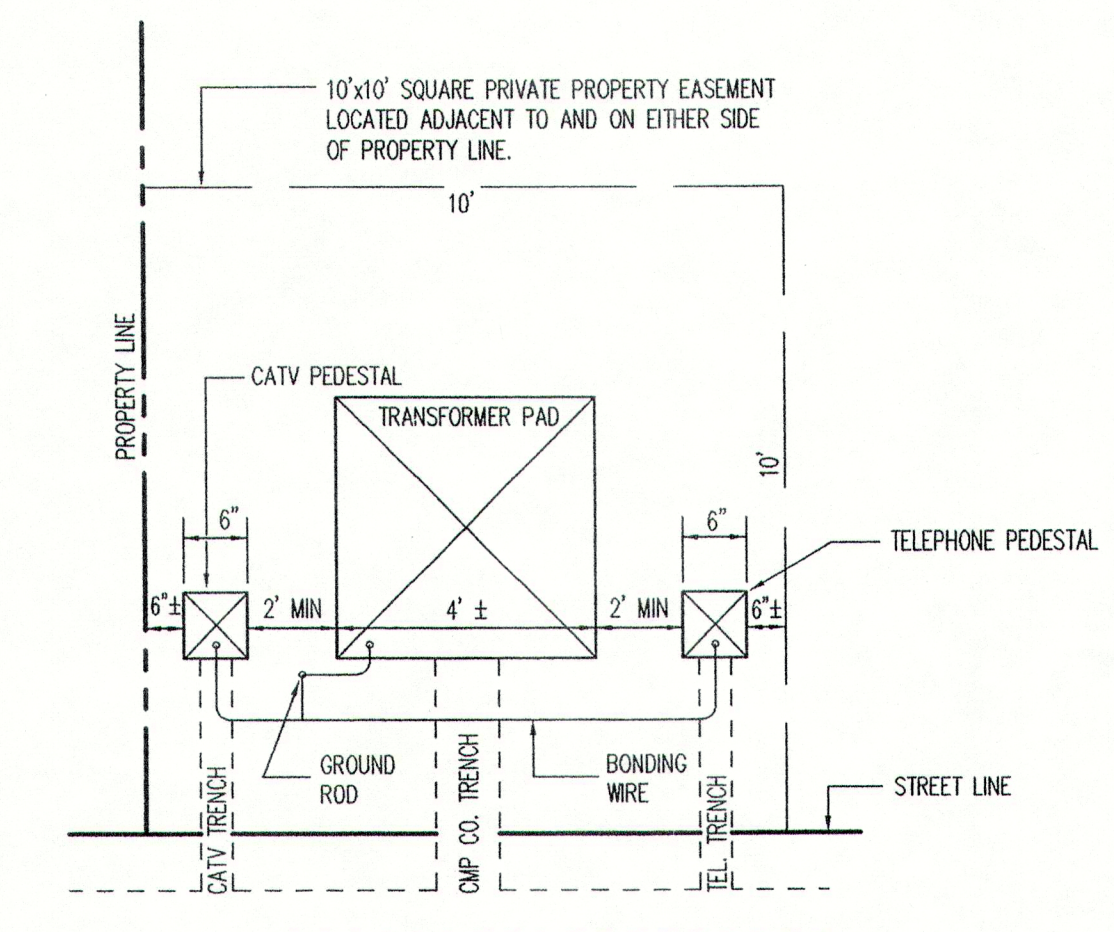
NOTES:

1. A) SELECTED SAND BACKFILL SHALL CONSIST OF FINE GRANULAR MATERIAL, 100% SHALL PASS THROUGH A 1/4" SIEVE.
- B) EXCEPTION: NATURALLY OCCURRING SMOOTH ROUND PEBBLES NO GREATER THAN 3/8" DIA ARE PERMITTED AS LONG AS THEIR TOTAL VOLUME PER CUBIC FOOT OF SAND DOES NOT EXCEED 1%.
- C) THE SAND SHALL BE COMPLETELY FREE OF FROZEN LUMPS, ROCKS, STONES, DEBRIS OR RUBBISH.
2. CONDUIT SHALL BE REQUIRED FOR ALL UTILITY INSTALLATIONS. CONDUIT TO BE SCHEDULE 40 UL APPROVED. ALL ELBOWS SHALL BE LONG SWEEPS, NOT FLANGERS. ELBOWS. CONDUIT SHALL BE 4" MIN ON MAIN RUNS AND ROAD CROSSINGS, 2.5" MIN FOR SERVICE RUNS.
3. ALL CLOSURE LOCATIONS TO BE A MIN OF 3' OFF THE MAIN TRENCH AND TO BE FILLED TO FINISHED GRADE WITH SAND.
4. ALL CONDUIT AT CLOSURE LOCATIONS TO BE STUBBED UP ABUTTING EACH OTHER AND TERMINATED 6" ABOVE FINISHED GRADE.
5. A PULL STRING CAPABLE OF A 200 TO 300 POUND PULL SHALL BE INSTALLED IN ALL CONDUITS.

2 CMP UNDERGROUND TRENCH DETAIL (JOINT USE)

NOT TO SCALE

2785/L-UTL11/9-95

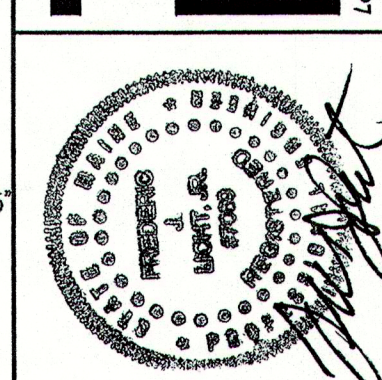


3 TYPICAL TRANSFORMER PAD LOCATION & EASEMENT

NOT TO SCALE

2785/L-UTL4/9-95

866 RIVERSIDE STREET
PORTLAND, MAINE 04105
Voice (207) 876-3303
Fax (207) 876-3303
cell (207) 876-3303
e-mail: info@luc-engineers.com
www.luc-engineers.com



MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, MAINE
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
87B PRINCES POINT ROAD
YARMOUTH, MAINE 04096

Revision	Date
NO REVISIONS	07/15/03
NO REVISIONS	08/05/03
NO REVISIONS	09/07/03
NO REVISIONS	11/25/03
NO REVISIONS	12/16/03
NO REVISIONS	05/14/04
NO REVISIONS	06/29/04
NO REVISIONS	07/13/04

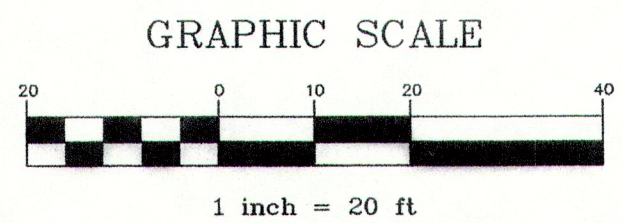
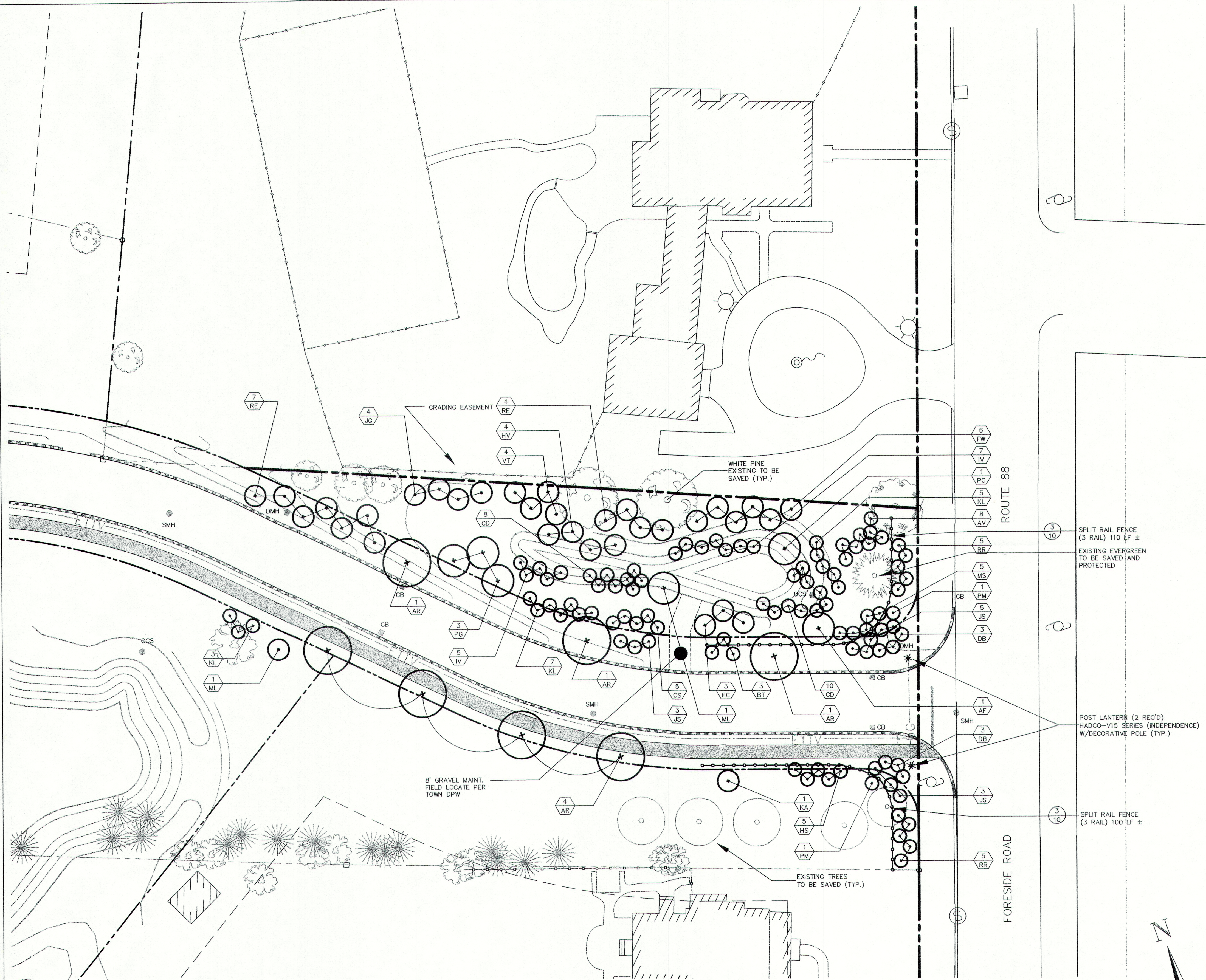
Designed/FUL	Drawn	CAM/SKN
Checked/FUL	Revised	PER DESIGN REVIEW COMMENTS
Scale	NO SCALE	FINAL SUBMITTAL
Date	6-24-03	

EROSION CONTROL & UTILITY DETAILS

Job No. 4178.1
Sheet

C-13

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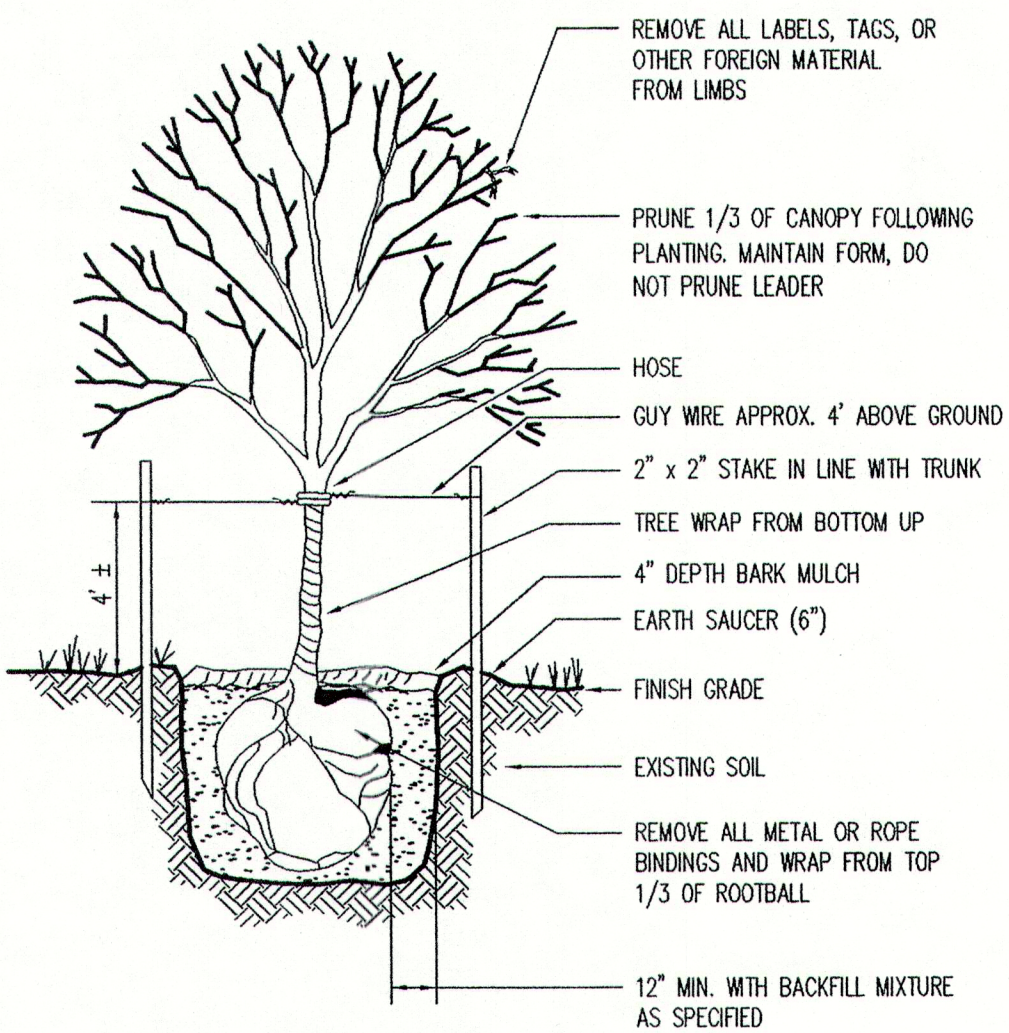
PLANT LIST

KEY #	BOTANICAL NAME	COMMON NAME	SIZE	METHOD
TREES				
AF 12	ABIES FRASERI	FRASER FIR	5-6' HT	B&B
AR 18	ACER RUBRUM "RED SUNSET"	RED SUNSET MAPLE	1.75" CAL	B&B
AC 2	AMALANCHIER CANADENSIS	SHADBLOW	5-6' HT	CLUMP
BN 3	BETULA NIGRA	RIVER BIRCH	8-10' HT	CLUMP
FP 1	FRAXINUS PENNSYLVANICA "CIMMAM"	CIMARRON ASH	10-12' HT	B&B
ML 1	MAGNOLIA LOEBNERI "MERRILL"	MERRILL MAGNOLIA	5-6' HT	B&B
PG 13	PICEA GLAUCA	WHITE SPRUCE	5-6' HT	B&B
PN 12	PINUS NIGRA	AUSTRIAN PINE	5-6' HT	B&B
PS 5	PINUS STROBUS	WHITE PINE	5-6' HT	B&B
TC 4	TSUGA CANADENSIS	CANADIAN HEMLOCK	4-5' HT	B&B
SHRUBS				
AV 23	AZALEA ARBORESCENS X VISCOSUM	AZALEAS	18-24" HT	MIX COLORS
BT 5	BEBERIS THUNBERG "ROYAL BURUNDY"	BARBERRY	#3	CONT
CS 5	CLETHRA ALNIFOLIA "TASBY SPICE"	SUMMERSWEET	#3	CONT
CD 22	CORNUS SERICEA "CARDINAL"	CARDINAL RED TWIG DOGWOOD	2-3' HT	CONT
DB 6	DAPHNE X BURKWOOD "SOMERSET"	DAPHNE	#2	CONT
EC 4	ENKANTHUS CAMPANULATUS	REDVEIN ENKANTHUS	18-24" HT	---
EA 7	EUONYMUS ALATUS	BURNING BUSH	2.5-3' HT	---
FW 6	FORSYTHIA "WEEKEND"	FORSYTHIA	#2	CONT
HV 9	HAMAMELIS VIRGINIANA	COMMON WITCHHAZEL	3-4' HT	---
HS 5	HYDRANGEA SERRATA "BLUEBIRD"	BLUEBIRD HYDRANGEA	#5	CONT
IV 23	ILEX VERTICILLATA	WINTERBERRY	2-3' HT	M&F VAR
JG 6	JUNIPERUS PHITZ CHIN "SEAGREEN"	SEAGREEN JUNIPER	#3	CONT
JS 13	JUNIPERUS CHIN "SARGENT"	SARGENT JUNIPER	#5	CONT
KL 29	KALIA LATIFOLIA "BRIDESMAID"	MT. LAUREL	#3	CONT
KA 8	KOLKWTZIA AMABILIS	BEAUTY BUSH	4-5' HT	B&B
MS 11	MYRTICA PENNSYLVANICA	BAYBERRY	2-2.5' HT	CONT
PA 5	PIERS ANDROMEDA "BROOMERS BEAUTY"	JAP. ANDROMEDA	15-18" HT	CONT
PM 5	PINUS MUGO "MUGO"	DWARF MUGO PINE	15-18" HT	---
PV 5	PHILADELPHUS VIRGINALIS	MOCKORANGE	3-4' HT	---
RA 15	RHUS AROMATICA "LOW-GROW"	FRAGRANT SUMAC	#3	CONT
RE 11	RHOXODENDRON "ROSEUM ELEGANS"	RHOXODENDRON	2-2.5' HT	---
SV 5	SYRINGA VULGARIS	COMMON LILAC	#5	CONT
VR 15	VBURNUM RHYTIDOPHYLLUM	LEATHER LEAF VBURNUM	#5	CONT
VT 12	VBURNUM TOMENTOSUM "SHASTA"	"SHASTA" VBURNUM	3-4' HT	B&B
RR 16	ROSA RUGOSA	RUGOSA ROSE	#3	MIX COLORS

NOTES:

1. VERIFY SCHEDULE w/PLANTING PLAN. IF CONFLICTS, PROVIDE HIGHER NUMBER OF PLANTS.
2. LANDSCAPE CONTRACTOR TO CONSTRUCT PLANT BED AROUND AND UNDER ALL SHRUB PLANTINGS. PROVIDE 4 INCH DEEP BARK MULCH BED WITH CURVILINEAR SHAPE TO OUTSIDE LIMIT OF BRANCHING.
3. FOR PLANT MATERIAL INSTALLATION DETAILS.

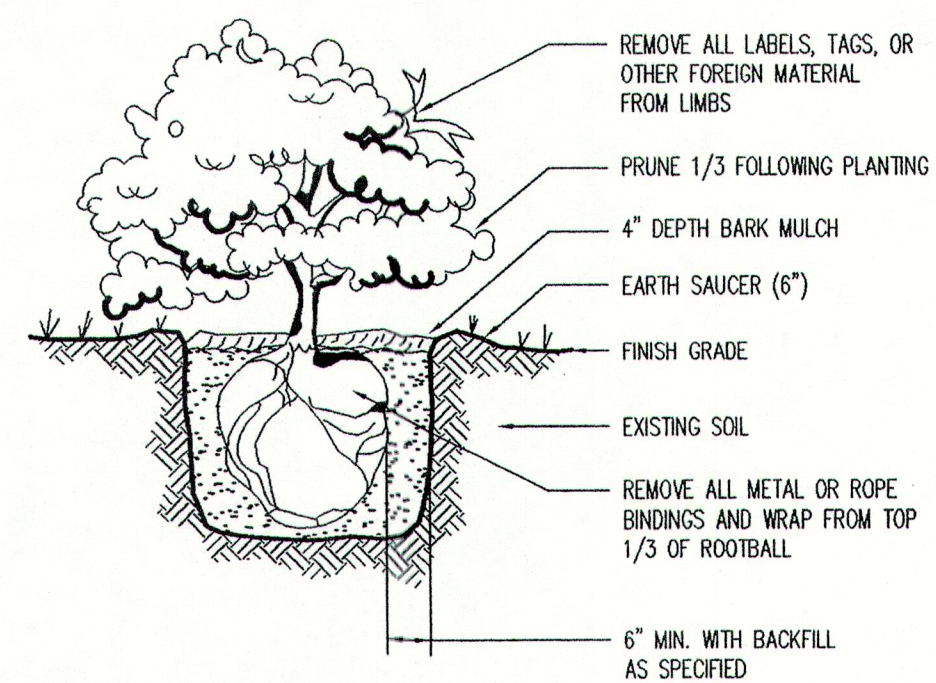
PLANT TO NUMBER OF PLANTS
KEY 10 100 1000 KEY TO PLANT NAME



1 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

L-133/05-05



2 SHRUB PLANTING DETAIL

NOT TO SCALE

L-133/05-05

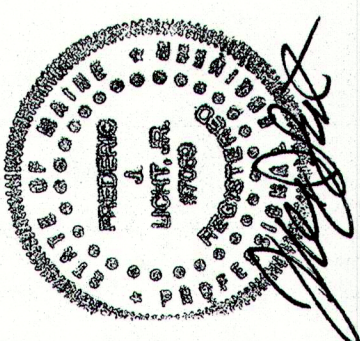
engineers
planners
architects

two

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

Phone (207) 878-1221
Fax (207) 878-1222
Internet www.twoinc.com

Land Use Consultants, Inc.



MARY LANE SUBDIVISION

12 FORESIDE ROAD, CUMBERLAND FORESIDE ME

PREPARED FOR RECORD OWNER

MARY LANE, LLC C/O STEPHEN GOODRICH

875 PRINCES POINT ROAD

YARMOUTH, ME 04096

Revision	Date
FINAL SUBMITTAL	11/25/03
NO REVISIONS	12/16/03
NO REVISIONS	05/14/04
REVISED FOR NEW POND LAYOUTS	06/29/04
NO REVISION	08/24/04

Designed	JDH
Drawn	TDD
Checked	FJJ
Scale	1" = 20'
Date	9-17-03

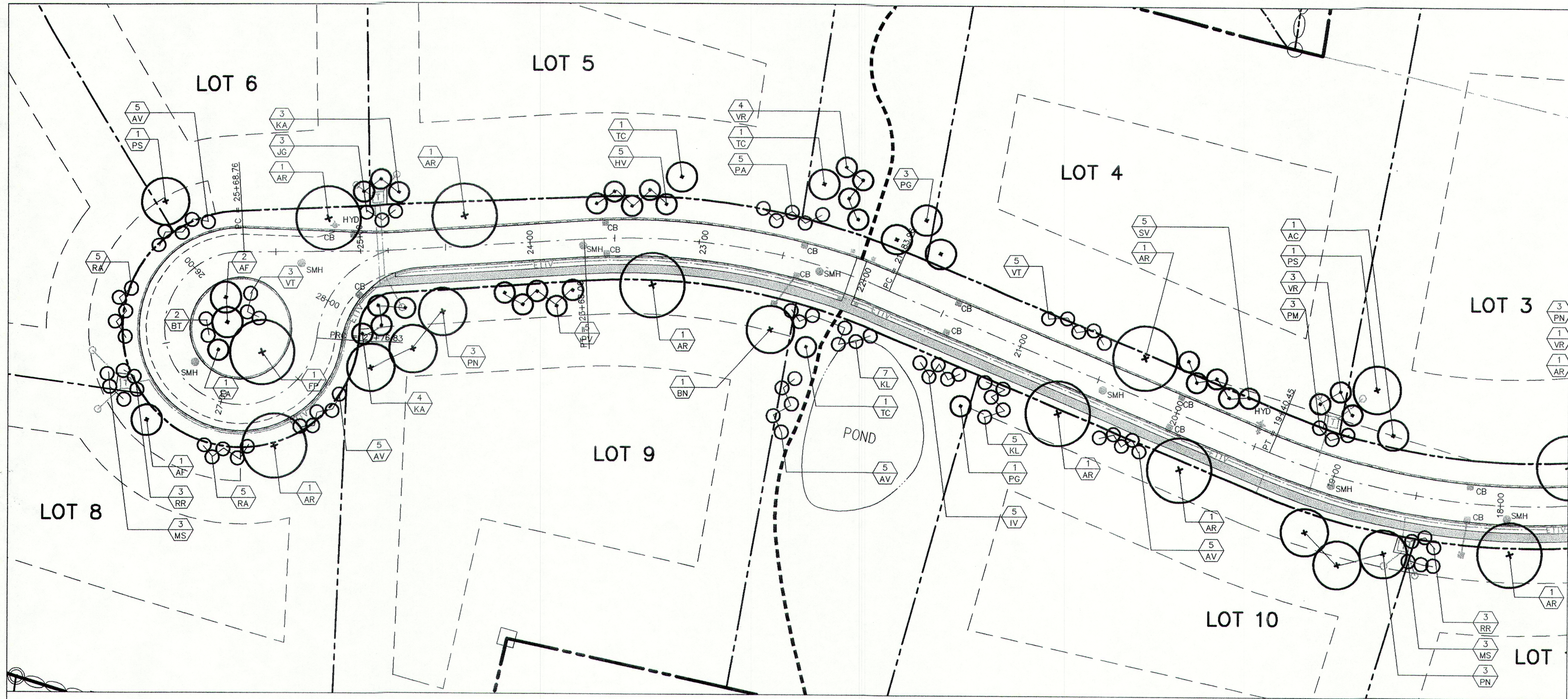
LANDSCAPED
ENTRANCE

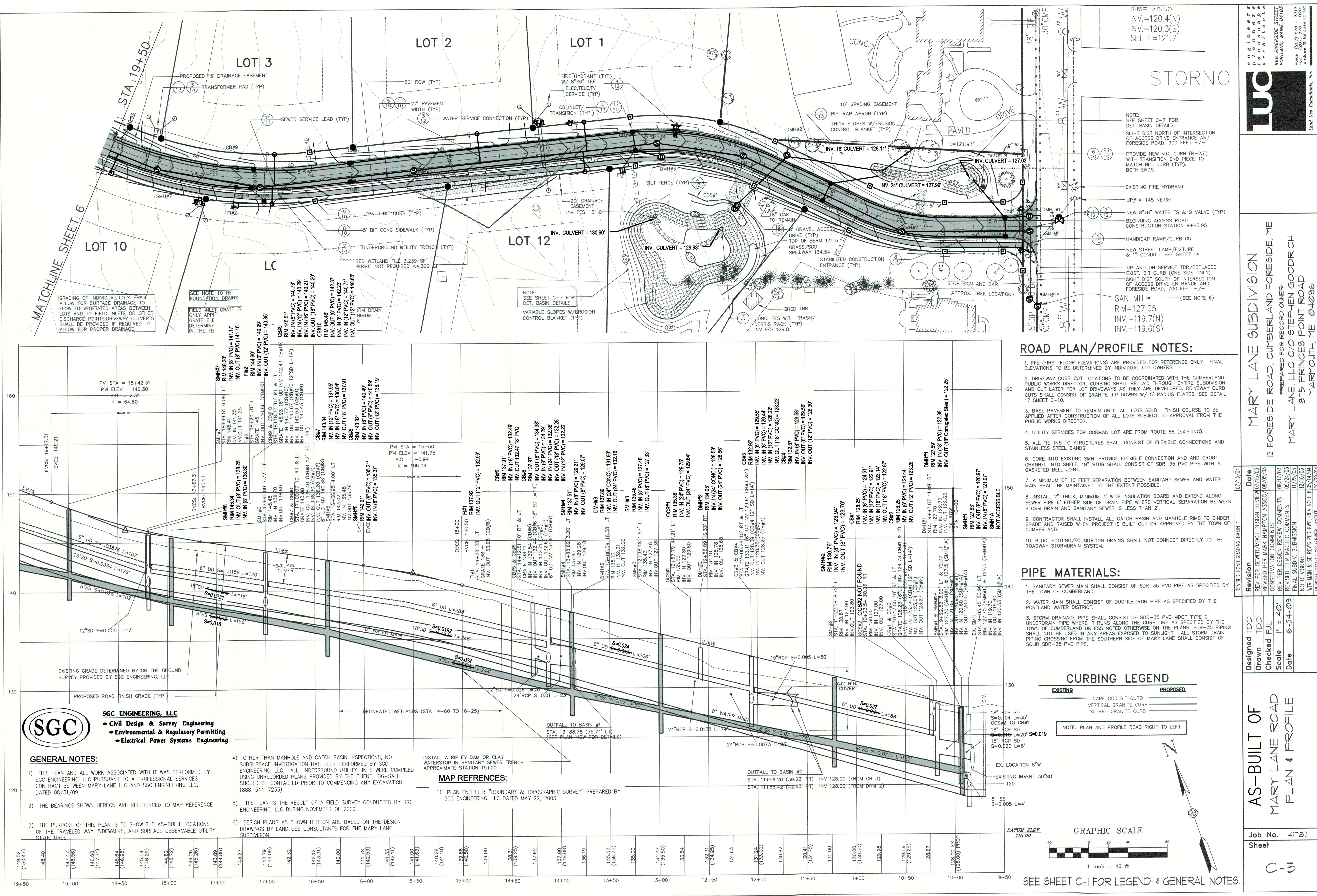
Job No. 4178.1

Sheet

C-14

SEE SHEET C-1 FOR LEGEND & GENERAL NOTES.





GRADING OF INDIVIDUAL LOTS SHALL ALLOW FOR SURFACE DRAINAGE TO FLOW TO VEGETATED AREAS BETWEEN LOTS AND TO FIELD INLETS OR OTHER DISCHARGE POINTS. DRIVEWAY CULVERTS SHALL BE PROVIDED IF REQUIRED TO ALLOW FOR PROPER DRAINAGE.

SEE NOTE TO RE: FOUNDATION DRAINS

NOTE: SEE SHEET C-7 FOR DET. BASIN DETAILS

RIM=120.00
INV.=120.4(N)
INV.=120.3(S)
SHELF=121.7

NOTE: SEE SHEET C-7 FOR DET. BASIN DETAILS
SIGHT DIST NORTH OF INTERSECTION OF ACCESS DRIVE ENTRANCE AND FORESIDE ROAD, 900 FEET +/-
PROVIDE NEW V.G. CURB (R=25') WITH TRANSITION END PIECE TO MATCH BIT. CURB (TYP.) BOTH ENDS.

EXISTING FIRE HYDRANT
UP#14-145 NET&T
NEW 8"x8" WATER TS & G VALVE (TYP.)
BEGINNING ACCESS ROAD CONSTRUCTION STATION 9+85.95
HANDICAP RAMP/CURB CUT
NEW STREET LAMP/FIXTURE & 1" CONDUIT. SEE SHEET 14
UP AND OH SERVICE TBR/REPLACED EXIST. BIT CURB (ONE SIDE ONLY)
SIGHT DIST SOUTH OF INTERSECTION OF ACCESS DRIVE ENTRANCE AND FORESIDE ROAD, 700 FEET +/-
SAN MH (SEE NOTE 6)
RIM=127.05
INV.=119.7(N)
INV.=119.6(S)

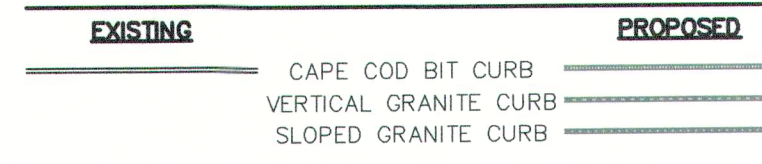
ROAD PLAN/PROFILE NOTES:

- FFE (FIRST FLOOR ELEVATIONS) ARE PROVIDED FOR REFERENCE ONLY. FINAL ELEVATIONS TO BE DETERMINED BY INDIVIDUAL LOT OWNERS.
- DRIVEWAY CURB CUT LOCATIONS TO BE COORDINATED WITH THE CUMBERLAND PUBLIC WORKS DIRECTOR. CURBING SHALL BE LAID THROUGH ENTIRE SUBDIVISION AND CUT LATER FOR LOT DRIVEWAYS AS THEY ARE DEVELOPED. DRIVEWAY CURB CUTS SHALL CONSIST OF GRANITE TIP DOWNS W/ 5' RADIUS FLARES. SEE DETAIL 17 SHEET C-10.
- BASE PAVEMENT TO REMAIN UNTIL ALL LOTS SOLD. FINISH COURSE TO BE APPLIED AFTER CONSTRUCTION OF ALL LOTS SUBJECT TO APPROVAL FROM THE PUBLIC WORKS DIRECTOR.
- UTILITY SERVICES FOR GORMAN LOT ARE FROM ROUTE 88 (EXISTING).
- ALL TIE-INS TO STRUCTURES SHALL CONSIST OF FLEXIBLE CONNECTIONS AND STAINLESS STEEL BANDS.
- CORE INTO EXISTING SMH, PROVIDE FLEXIBLE CONNECTION AND GROUT CHANNEL INTO SHELF. 18" STUB SHALL CONSIST OF SDR-35 PVC PIPE WITH A GASKETED BELL JOINT.
- A MINIMUM OF 10 FEET SEPARATION BETWEEN SANITARY SEWER AND WATER MAIN SHALL BE MAINTAINED TO THE EXTENT POSSIBLE.
- INSTALL 2" THICK, MINIMUM 3' WIDE INSULATION BOARD AND EXTEND ALONG SEWER PIPE 6' EITHER SIDE OF DRAIN PIPE WHERE VERTICAL SEPARATION BETWEEN STORM DRAIN AND SANITARY SEWER IS LESS THAN 2'.
- CONTRACTOR SHALL INSTALL ALL CATCH BASIN AND MANHOLE RIMS TO BINDER GRADE AND RAISED WHEN PROJECT IS BUILT OUT OR APPROVED BY THE TOWN OF CUMBERLAND.
- BLDG. FOOTING/FOUNDATION DRAINS SHALL NOT CONNECT DIRECTLY TO THE ROADWAY STORMDRAIN SYSTEM.

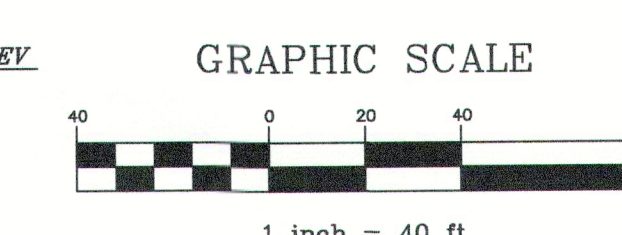
PIPE MATERIALS:

- SANITARY SEWER MAIN SHALL CONSIST OF SDR-35 PVC PIPE AS SPECIFIED BY THE TOWN OF CUMBERLAND.
- WATER MAIN SHALL CONSIST OF DUCTILE IRON PIPE AS SPECIFIED BY THE PORTLAND WATER DISTRICT.
- STORM DRAINAGE PIPE SHALL CONSIST OF SDR-35 PVC MDOOT TYPE C UNDERDRAIN PIPE WHERE IT RUNS ALONG THE CURB LINE AS SPECIFIED BY THE TOWN OF CUMBERLAND UNLESS NOTED OTHERWISE ON THE PLANS. SDR-35 PIPING SHALL NOT BE USED IN ANY AREAS EXPOSED TO SUNLIGHT. ALL STORM DRAIN PIPING CROSSING FROM THE SOUTHERN SIDE OF MARY LANE SHALL CONSIST OF SDR-35 PVC PIPE.

CURBING LEGEND



NOTE: PLAN AND PROFILE READ RIGHT TO LEFT



SEE SHEET C-1 FOR LEGEND & GENERAL NOTES.

SGC ENGINEERING, LLC
• Civil Design & Survey Engineering
• Environmental & Regulatory Permitting
• Electrical Power Systems Engineering

GENERAL NOTES:

- THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY SGC ENGINEERING, LLC PURSUANT TO A PROFESSIONAL SERVICES CONTRACT BETWEEN MARY LANE LLC AND SGC ENGINEERING, LLC, DATED 08/31/09.
- THE BEARINGS SHOWN HEREON ARE REFERENCED TO MAP REFERENCE 1.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT LOCATIONS OF THE TRAVELED WAY, SIDEWALKS, AND SURFACE OBSERVABLE UTILITY STRUCTURES.

- OTHER THAN MANHOLE AND CATCH BASIN INSPECTIONS, NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY SGC ENGINEERING, LLC. ALL UNDERGROUND UTILITY LINES WERE COMPILED USING UNRECORDED PLANS PROVIDED BY THE CLIENT. DIG-SAFE SHOULD BE CONTACTED PRIOR TO COMMENCING ANY EXCAVATION. (888-344-7233).
- THIS PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY SGC ENGINEERING, LLC DURING NOVEMBER OF 2009.
- DESIGN PLANS AS SHOWN HEREON ARE BASED ON THE DESIGN DRAWINGS BY LAND USE CONSULTANTS FOR THE MARY LANE SUBDIVISION.

MAP REFERENCES:

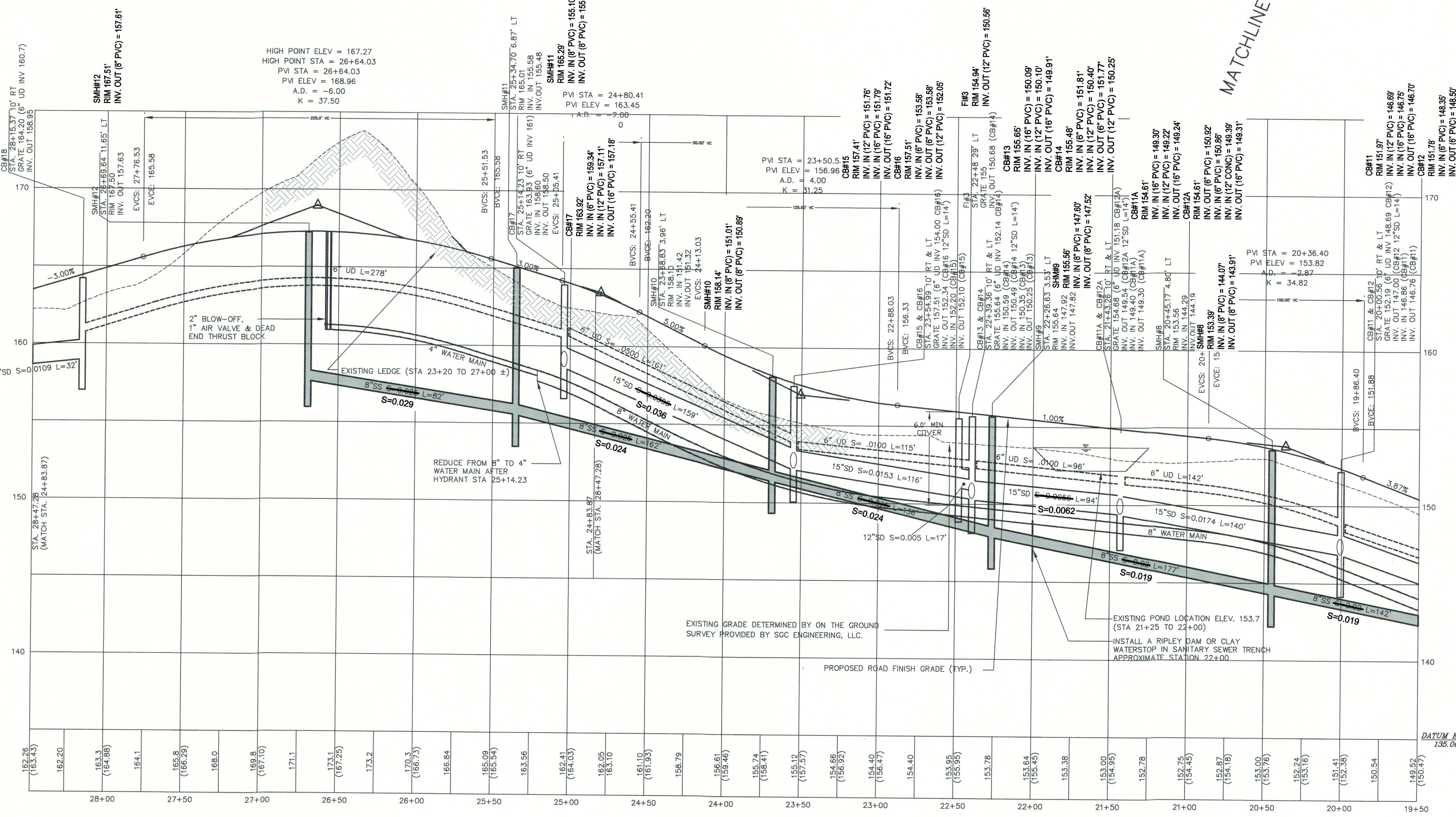
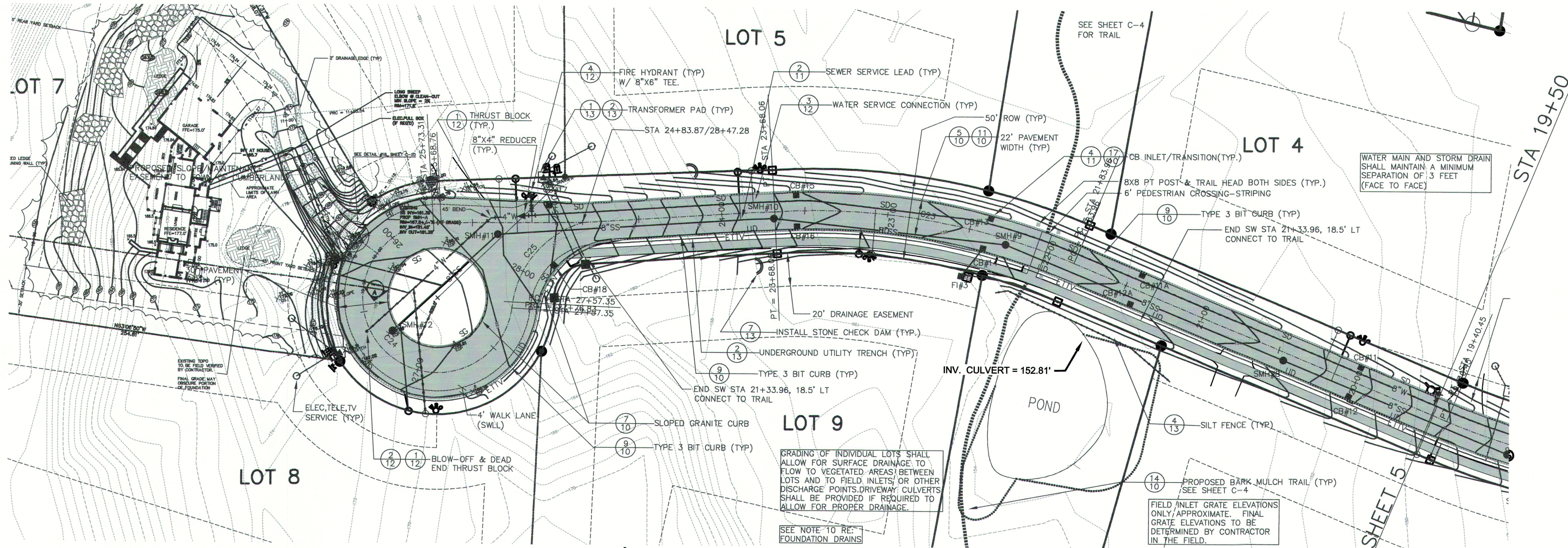
- PLAN ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY SGC ENGINEERING, LLC DATED MAY 22, 2003.

**engineers
landscape
architects**
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878-3313
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www.marylanesubdivision.com

MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
815 PRINCES POINT ROAD
YARMOUTH, ME 04096

**AS-BUILT OF
MARY LANE ROAD
PLAN & PROFILE**

Job No. 41781
Sheet
C-5

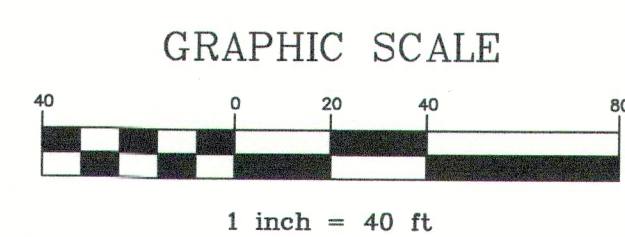
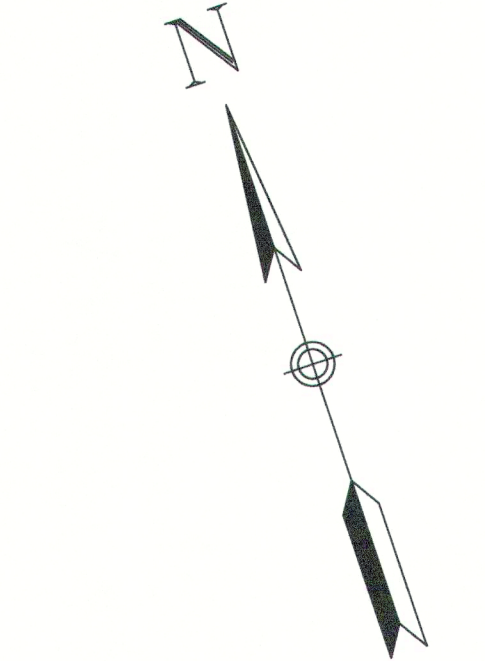


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CURBING LEGEND

EXISTING	PROPOSED
CAPE COD BIT CURB	VERTICAL GRANITE CURB
VERTICAL GRANITE CURB	SLOPED GRANITE CURB



SEE SHEET C-1 FOR LEGEND & GENERAL NOTES.

MARY LANE SUBDIVISION
12 FORESIDE ROAD, CUMBERLAND FORESIDE, ME
PREPARED FOR RECORD OWNER:
MARY LANE, LLC C/O STEPHEN GOODRICH
875 PRINCES POINT ROAD
YARMOUTH, ME 04096

Revision	Date
NO REVISIONS	07/15/03
REVISED PER MARK HAMPTON	08/05/03
ASSOC/CONSERV. COMMENTS	09/17/03
REV PER DESIGN REVIEW COMMENTS	09/24/03
REVISED PER MACTEC COMMENTS	11/25/03
FINAL SUBMITTAL	12/16/03
NO REVISIONS	05/14/04
WTR MAIN & SD REVS PER PWD ADJ. CB #17	05/29/04
NO REVISIONS	

Designed TDD	Drawn TDD	Checked FUL
1" = 40'	6-24-03	
Scale	Date	

AS-BUILT OF
MARY LANE ROAD
PLAN & PROFILE

Job No. 41781
Sheet

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